

NOTE: IMAGES NOT TO SCALE.



LIVABLE HOUSING
- SILVER LEVEL



NOTE: ALL BUILDING WORKS TO BE IN ACCORDANCE WITH NCC SERIES, BUILDING CODE OF AUSTRALIA 2022- VOLUMES 1 & 2 AS APPROPRIATE AND RELEVANT AUSTRALIAN STANDARDS.

- UN-RETAINED EARTHWORKS TO COMPLY WITH BCA 2022, CLAUSE 3.2.1
- DRAINAGE SYSTEMS TO COMPLY WITH BCA 2022. PART 3.3
- TERMITE PROTECTION TO COMPLY WITH BCA 2022, PART 3.4 AND AS3550.1
- FOOTINGS , SLABS AND ASSOCIATED ELEMENTS TO COMPLY WITH BCA 2022, PART 4 & PART H1D4
- MASONRY TO COMPLY WITH BCA 2022, PART 5 & H1D5
- FRAMING TO COMPLY WITH BCA 2022, PART 6
- STRUCTURAL STEEL MEMBERS TO COMPLY WITH BCA PART 6.3
- ROOF & WALL CLADDING TO COMPLY WITH BCA 2022, PART 7 & H1D7
- GLAZING TO COMPLY WITH BCA 2022, PART 8 & H1D8
- FIRE SAFETY TO COMPLY WITH BCA 2022, PART 9 & H3D2
- WET AREA WATERPROOFING TO BE COMPLIANT WITH BCA 2022, PART 10.2 OF THE HOUSING PROVISIONS OR AS3740 - 2022.
- FLOOR AND SHOWER WASTE INCLUDING COMPLIANT FALLS (I.E 1:80 TO 1:50) IN ACCORDANCE WITH AS 3740 - 2022 AND BCA H4D3 /H4D2.
- VENTILATION TO COMPLY WITH BCA 2022, PART 10.6.2
- FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS IN ACCORDANCE WITH BCA HOUSING PROVISIONS PART 10.8 - CONDENSATION MANAGEMENT (BATHROOM/SANITARY WC 25L/S KITCHEN OF LAUNDRY 40L/S).
- MECHANICAL VENTILATION TO DISCHARGE TO EXTERNAL WALL/EAVE OR VENTILATED ROOF SPACE AS PER BCA HOUSING PROVISIONS PART 10.8.2
- INSULATION TO COMPLY WITH BCA 2022, PART 13.2.2, PART 13.2.3 & AS4859.1 & IN ACCORDANCE WITH BASIX REQUIREMENTS.
- GLAZING TO COMPLY WITH BCA 2022, PART 13.3
- ALL OFF-STREET CAR PARKING/ VEHICLE ACCESS TO COMPLY WITH AS 2890.1:2004, "PARKING FACILITIES-OFF-STREET CAR PARKING".
- MASONRY ARTICULATION JOINTS TO BE PROVIDED AS SPECIFIED IN HP5.6.8 OR AS4773.2 OR AS3700
- SMOKE ALARMS PER AS3786 & NCC HOUSING PROVISIONS CLAUSE 9.5.2

REFER TO BUILDING SPECIFICATION FOR ADDITIONAL BUILDING REQUIREMENTS.



PROPOSED :
BRICK VENEER DWELLING & GRANNY FLAT

CLIENT :
MR. T LE & MRS. L LE

SITE ADDRESS :
**DP: 15574 | LOT 2, H#241
THE RIVER ROAD
REVESBY, NSW 2212**

WIND CLASSIFICATION:
N2

SLAB CLASSIFICATION:
**SUITABLE FOR
S OR M**

COUNCIL ID: **CANTERBURY- BANKSTOWN** PROJECT ID: **P-208951** LODGEMENT: **DA/CC** SHEET: **1/14**

STAGE: **CONSTRUCTION PLANS** ISSUE DATE: **03.06.24** DRAWN BY: **CP** REV.: **I**

Date	Tender	Revision	Drawn	Rev. ID
03.06.24	1	FIRST DRAW	CP	A
04.07.24	CRM DATED 16.6.24	VARIATION	CP	B
12.07.24	-	ADDED SILVER STANDARDS	CP	C
02.08.24		EXISTING TREE AT REAR BACKYARD REMOVED	AV	D
13.09.24		LODGEMENT PLANS	AV	E
18.10.24	4	UPDATED LODGEMENT PLANS WITH BASIX INFO	AV	F
28.01.25	-	COUNCIL CHANGES	A.C.	G
01.04.25	6	CONSTRUCTION CERT & DA REVIEW	A.C.	H
28.04.25	-	CERTIFIER AMENDMENTS	A.C.	I

HOUSE TYPE :
**BAROSSA FOUR GUEST LOFT 30
+ SEMILLON TWO GRANNY FLAT**

FACADE:
CLASSIC 3

PLAN VARIATION.:
WAFFLE POD SLAB

BEDS [TOTAL]: **4 BED** GARAGE: **DG** POSITION: **LHS** VERSION: **-**

BEECHWOOD HOMES (NSW) PTY. LTD.

BEECHWOOD HOMES (NSW) PTY LTD TRADING AS BEECHWOOD HOMES
ABN 50 132 370 104 | BUILDERS LICENCE 207765C

SYDNEY BUSINESS CENTRE (HEAD OFFICE)
UNIT 8, 32-34 PETER BROCK DRIVE, EASTERN CREEK, NSW, 2766 | P (02) 9616 0999

NORTH COAST BUSINESS CENTRE
UNIT 4, 26 BALOOK DRIVE, BERESFIELD, NSW, 2322 | P (02) 4918 2400

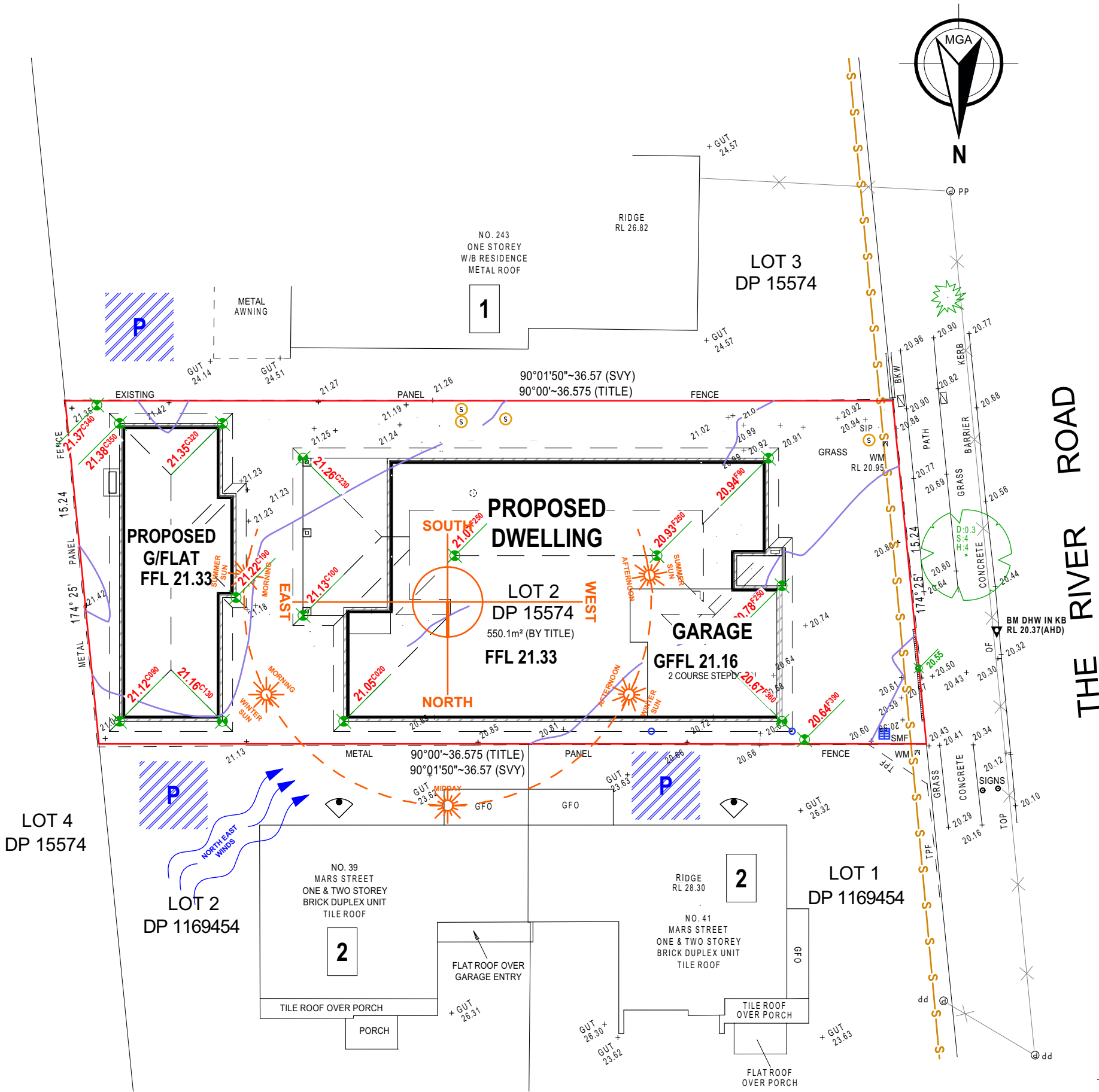
SOUTH COAST BUSINESS CENTRE (OPERATING FROM SYDNEY)
UNIT 8, 32-34 PETER BROCK DRIVE, EASTERN CREEK, NSW, 2766 | P (02) 9616 0999

General Notes

- Termite barrier to int. Drainage points & perimeter termite system as per .as3660.1
- High impact resistance damp-proof barrier to the underside of slab.
- These drawings are to be read in conjunction with specifications provided.
- If engineers structural drawings are required, such must take preference to these drawings.
- All timber dimensions are timber framed sizes only (excludes gyprock lining).
- Boundary clearances must be verified by a registered surveyor before commencement of building work.
- Building work to be carried out strictly in accordance to these drawings.- in the event of any alterations or discrepancies, Beechwood Homes is to be notified immediately.

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SURVEYORS LEGEND

- BOUNDARY LINE
- ADJACENT BOUNDARY
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- EASEMENT
- RETAINING WALL
- TOP & TOE OF BANKS
- ELECTRICAL PILLAR
- DRAINAGE PIT
- WATER METER
- SEWER MAN HOLE
- TELSTRA PIT
- LIGHT POLE
- SHRUB

SITE ANALYSIS LEGEND

- PRIVATE OPEN SPACE AREA
- SUN DIRECTION LOCATION
- POTENTIAL NEIGHBOURING DWELLING'S OVERLOOKING ONTO THE MAIN DWELLING
- PREVAILING WINDS DIRECTION
- NUMBER OF STOREYS (NEIGHBOURING DWELLING)

LEGEND / KEY

SITWORKS AND MANAGEMENT PLAN

- BOUNDARY
- SEWER LINE
- SEDIMENT CONTROL FENCE
- ADDITIONAL DROP EDGE BEAM
- NATURAL GROUND LEVEL
- STORMWATER LINE
- WATER CLOSET
- STORAGE SHED
- GENERAL WASTE COLLECTION
- MASONRY WASTE COLLECTION
- MATERIAL STORAGE AREA
- ALL WEATHER VEHICLE STABILISHED ACCESS POINT

ELECTRICAL

- LIGHT POINT
- LED DOWNLIGHT
- LIGHT SWITCH
- 2 WAY LIGHT SWITCH
- WALL LIGHT
- SMOKE ALARM
- SINGLE POWER POINT
- DOUBLE POWER POINT
- GAS BAYONET
- EXHAUST FAN
- 3-IN-1 FAN/HEAT/LIGHT COMBO

KITCHEN

- WO WALL OVEN
- UBO UNDERBENCH OVEN
- FSO FREESTANDING OVEN
- MW/P MICROWAVE PROVISION
- DW/P DISHWASHER PROVISION
- F REFRIGERATOR
- D DRAWERS

GENERAL

- MH MANHOLE
- EJ EXPANSION JOINT
- MB METER BOX
- HWS HOT WATER SYSTEM
- W01 WINDOW/DOOR ID CODE
- SQST SQUARE SET
- A/C AIR CONDITIONING UNIT
- DP DOWNPIPE
- ST STACK POINT
- JOIST DIRECTION

SITE ANALYSIS PLAN

1:200

Date	Tender	Revision	Drawn	Rev. ID	HOUSE TYPE:	DRAWING:	CLIENT:	LODGE MENT :	PROJECT ID :
13.09.24		LOGGEMENT PLANS	AV	E	BAROSSA FOUR GUEST	SITE ANALYSIS PLAN	MR. T LE & MRS. L LE	DA/CC	P-208951
18.10.24	4	UPDATED LODGEMENT PLANS WITH BASIX INFO	AV	F	LOFT 30	STAGE:	SITE ADDRESS:	DRAWN BY:	ISSUE DATE:
28.01.25	-	COUNCIL CHANGES	A.C.	G	FACADE:	CONSTRUCTION PLANS	DP: 15574 LOT 2, H#241	CP	03.06.24
01.04.25	6	CONSTRUCTION CERT & DA REVIEW	A.C.	H	CLASSIC 3	COUNCIL :	THE RIVER ROAD, REVESBY, NSW 2212	REV.:	SHEET:
28.04.25	-	CERTIFIER AMENDMENTS	A.C.	I	DG	CANTERBURY- BANKSTOWN		I	2/14

SITE AREA: 550.1m ²			
AREA CALCULATIONS			
		AREA m2	% OF SITE
FLOOR AREA (OUTER FACE OF EXTERNAL WALLS)			
	1. G/FLAT FLOOR	62.66	11.39%
	1. GROUND FLOOR	169.69	30.85%
	2. GARAGE	35.72	6.49%
	3. PATIO	2.87	0.52%
	4. GRAND TERRAZZA	28.94	5.26%
	5. LOFT FLOOR	51.93	9.44%
		351.81 m ²	
-GROSS FLOOR AREA			
	1. G/FLAT FLOOR	54.10	9.84%
	1. GROUND FLOOR	156.61	28.47%
	2. LOFT FLOOR	48.58	8.83%
		259.29 m ²	FSR: 0.47:1
SITE CALCULATIONS			
	SITE COVERAGE:	269.90	49.06%
	LANDSCAPED AREA:	216.08	39.28%
	PPOS:	98.05	-
	F/YARD TOTAL AREA:	89.34	
	SITE COVERAGE:	62.66	11.39%
	F/YARD LANDSCAPE:	50.38	56.3%

SURVEYORS LEGEND	
	BOUNDARY LINE
	ADJACENT BOUNDARY
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	EASEMENT
	RETAINING WALL
	TOP & TOE OF BANKS
	ELECTRICAL PILLAR
	DRAINAGE PIT
	WATER METER
	SEWER MAN HOLE
	TELSTRA PIT
	LIGHT POLE
	SHRUB

STORMWATER

- PROVIDE 3000L POLY RAINWATER TANK 1990H x 640W x 2940L.
- STORMWATER OVERFLOW TO STREET
- STORMWATER TO BE CONSTRUCTED IN ACCORDANCE WITH STORMWATER MANAGEMENT PLANS BY QUANTUM ENGINEERS.

CUT/FILL NOTES

- ALL EXCAVATED AND FILLED AREAS SHALL BE BATTERED TO A SLOPE OF NOT GREATER THAN 1:3
- WHERE COUNCIL APPROVED CUT/FILL EXCEEDS 200mm AND 1:3 BATTER CANNOT BE ACHIEVED, RETAINING WALL WILL BE REQUIRED
- RETAINING WALLS EXCEEDING 600mm IN HEIGHT TO BE ENGINEER DESIGNED
- FOR FURTHER DETAILS REFER TO CONDITION 5 IN D.A.

STRUCTURAL REQUIREMENTS

SOIL CLASSIFICATION: H1
SLAB: POD
PERFORMANCE SOLUTION: REFER TO ENGINEERS

CUT/FILL			
Element ID	Building Material	2D Plan Preview	Volume (by Story)
CUT	Excavation		37.83
FILL	Earth		29.59

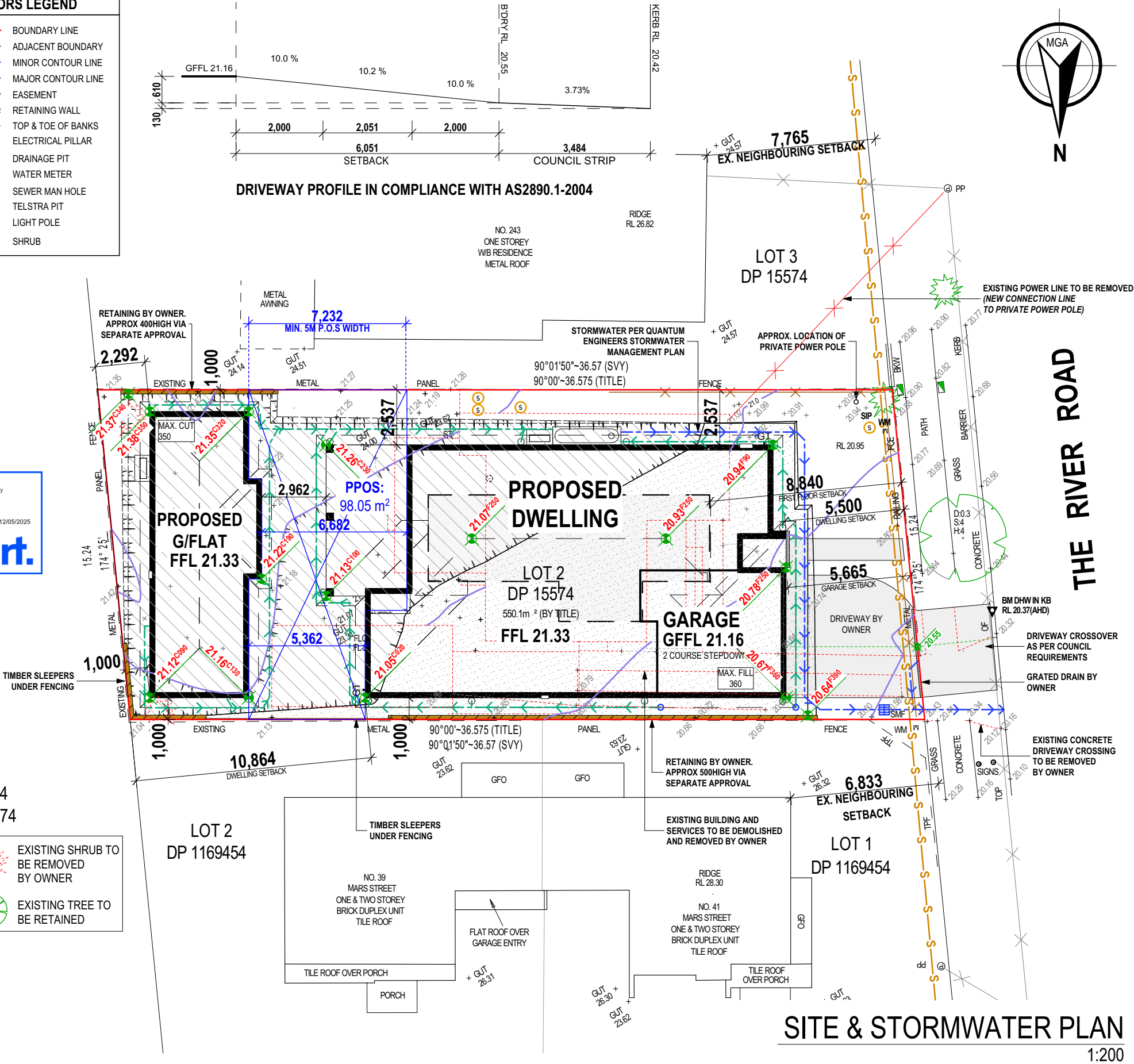
Date	Tender	Revision	Drawn	Rev. ID	HOUSE TYPE:
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01.04.25	6	CONSTRUCTION CERT & DA REVIEW	A.C.	H	GARAGE: POSITION: DG LHS
28.04.25	-	CERTIFIER AMENDMENTS	A.C.	I	

Beechwood
your family home
BEECHWOOD HOMES (NSW) PTY LTD ACN 132 370 104
LICENCE NUMBER - 207765C
SYDNEY NORTH COAST SOUTH COAST

DRAWING:	SITE & STORMWATER PLAN
STAGE:	CONSTRUCTION PLANS
COUNCIL:	CANTERBURY- BANKSTOWN

CLIENT:	MR. T LE & MRS. L LE
SITE ADDRESS:	DP: 15574 LOT 2, H#241 THE RIVER ROAD, REVESBY, NSW 2212

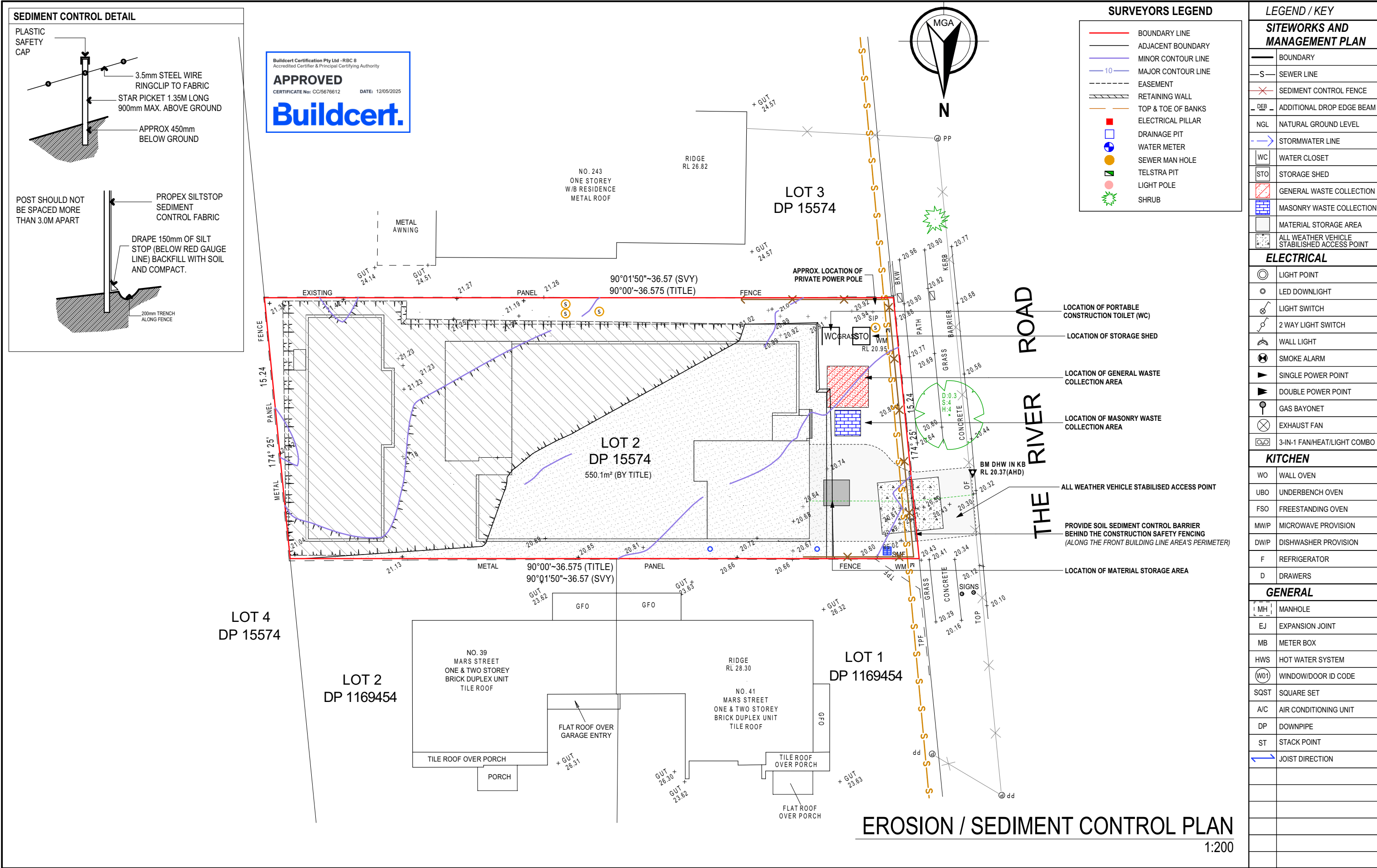
LODGEMENT:	DA/CC	PROJECT ID:	P-208951
DRAWN BY:	CP	ISSUE DATE:	03.06.24
REV.:	I	SHEET:	3/14



THE RIVER ROAD

SITE & STORMWATER PLAN

1:200



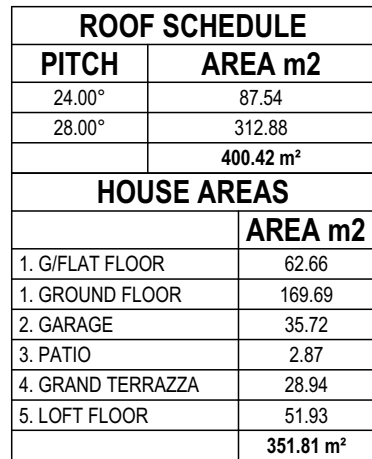
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13.09.24		LODGE	AV	E	BAROSSA FOUR GUEST	MR. T LE & MRS. L LE	DA/CC	P-208951
18.10.24	4	UPDATED LODGE	AV	F	LOFT 30		DRAWN BY:	ISSUE DATE:
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01.04.25	6	CONSTRUCTION CERT & DA REVIEW	A.C.	H	CLASSIC 3	THE RIVER ROAD,	REV.:	SHEET:
28.04.25	-	CERTIFIER AMENDMENTS	A.C.	I	GARAGE: POSITION: LHS	REVESBY, NSW 2212	I	4/14

NOTES

- RECESS GROUND FLOOR WET AREAS CONCRETE SLAB
- PROVIDE RANGEHOOD, OVERHEAD CUPBOARDS WITH BULKHEAD TO KITCHEN
- TREATED PINE FRAME & TRUSSES
- TERRAZZA CEILING BATTENED AT 450 CENTRES FOR PLASTER
- PROVIDE GLAZING AS PER WINDOW/DOOR SCHEDULES & NATHERS CERTIFICATES

LIVABLE HOUSING - SILVER LEVEL

WAFFLE POD SLAB CONSTRUCTION



Date	Tender	Revision	Drawn	Rev. ID
13.09.24		LODGE MENT PLANS	AV	E
18.10.24	4	UPD ATE LODGE MENT PLANS WITH BASIX INFO	AV	F
28.01.25	-	COUNCIL CHANGES	A.C.	G
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HOUSE TYPE:
BAROSSA FOUR GUEST
LOFT 30 + SEMILLON TWO G/FLAT
FACADE:
CLASSIC 3
GARAGE: **DG** POSITION: **LHS**

Beechwood
your family home

BEECHWOOD HOMES (NSW) PTY LTD ACN 132 370 104
LICENCE NUMBER - 207765C
SYDNEY NORTH COAST SOUTH COAST

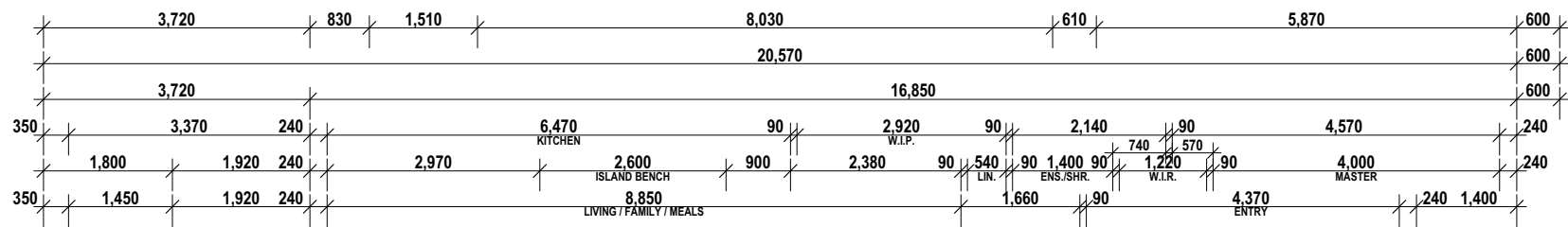
DRAWING:	GROUND FLOOR PLAN
STAGE:	CONSTRUCTION PLANS
COUNCIL :	CANTERBURY- BANKSTOWN

CLIENT:	MR. T LE & MRS. L LE
SITE ADDRESS:	DP: 15574 LOT 2, H#241 THE RIVER ROAD, REVESBY, NSW 2212

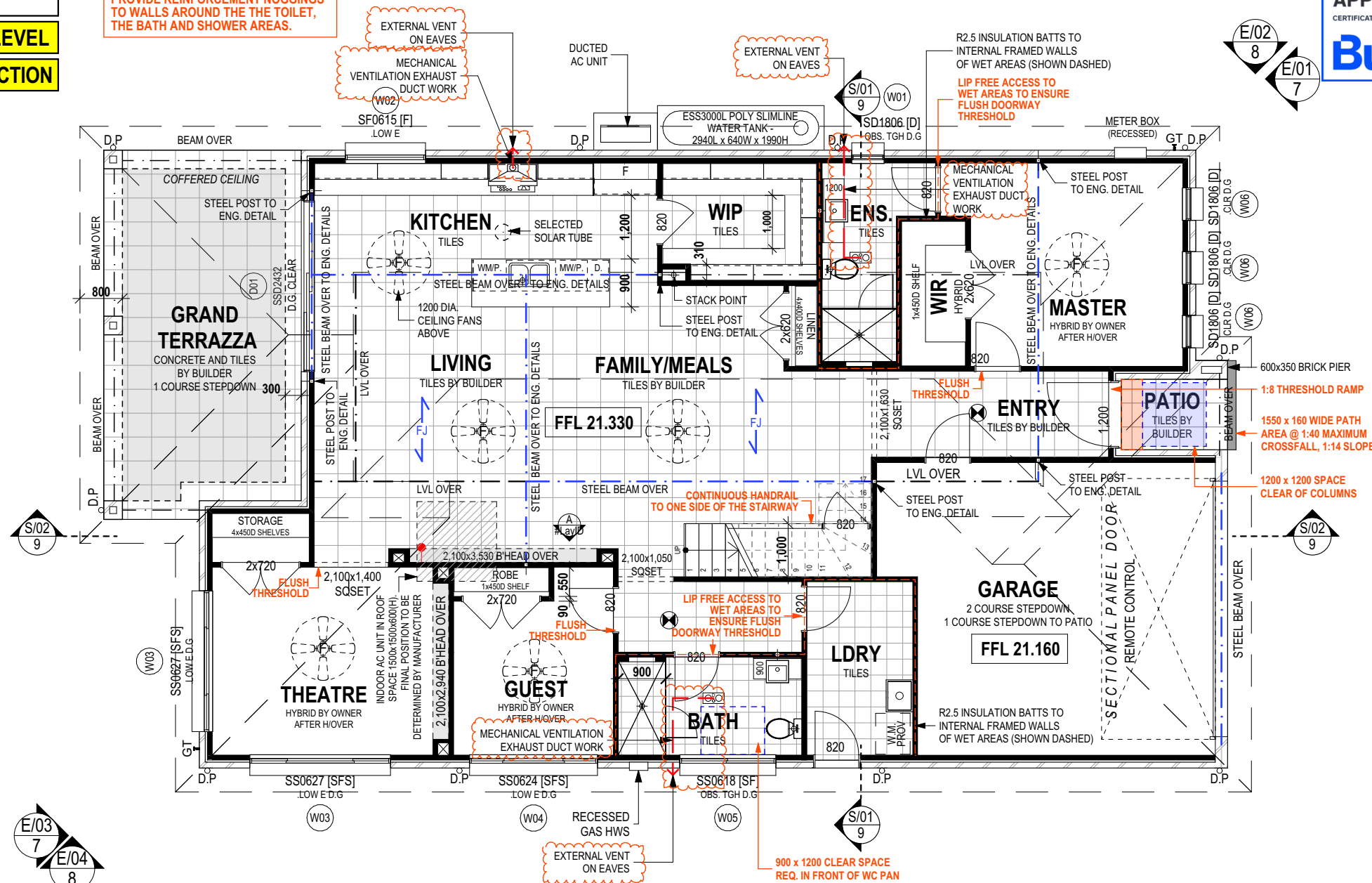
LODGE MENT :	PROJECT ID :
DA/CC	P-208951
DRAWN BY:	ISSUE DATE:
CP	03.06.24
REV.:	SHEET:
I	5/14

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SAVE DATE & TIME: 28/04/2025, 7:57 AM



PROVIDE REINFORCEMENT NOGGINGS TO WALLS AROUND THE THE TOILET, THE BATH AND SHOWER AREAS.



Soil classification - H1
Slab - Pod
Performance solution -- refer to Engineers.

Buildcert Certification Pty Ltd -RBC 8
Accredited Certifier & Principal Certifying Authority

APPROVED

DATE: 12/05/2025

Buildcert.

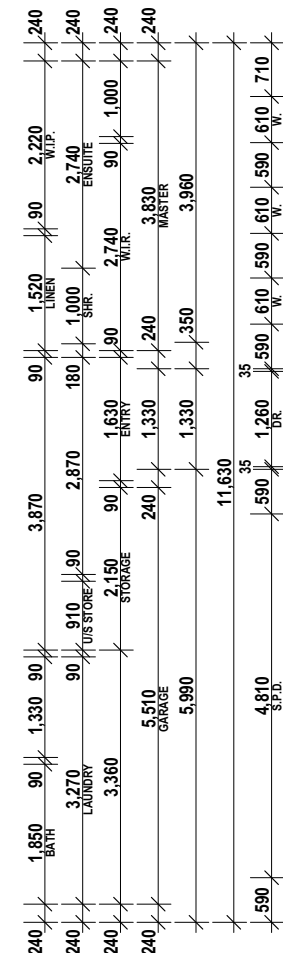
MAIN DWELLING FLOOR PLAN

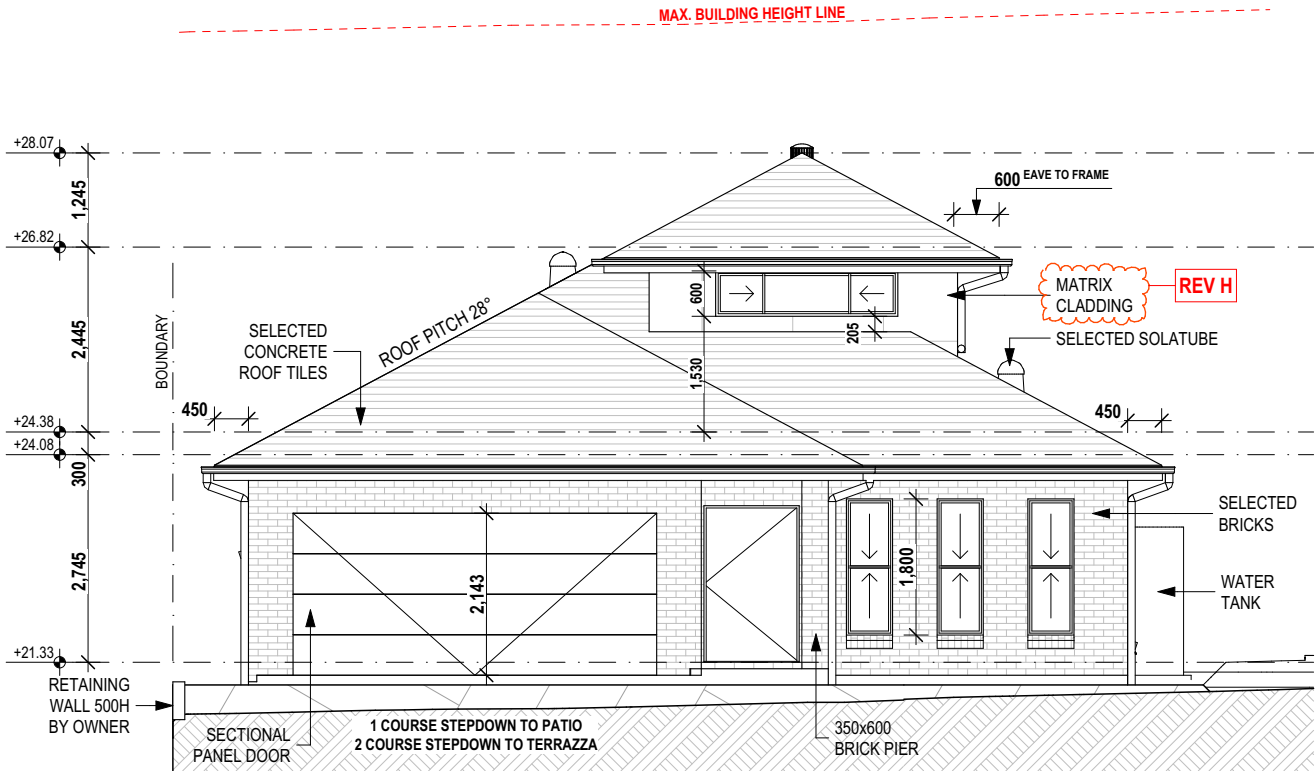
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LEGEND / KEY	
SITeworks AND MANAGEMENT PLAN	
	BOUNDARY
	SEWER LINE
	SEDIMENT CONTROL FENCE
	ADDITIONAL DROP EDGE BEAM
	NATURAL GROUND LEVEL
	STORMWATER LINE
	WATER CLOSET
	STORAGE SHED
	GENERAL WASTE COLLECTION
	MASONRY WASTE COLLECTION
	MATERIAL STORAGE AREA
	ALL WEATHER VEHICLE STABILISED ACCESS POINT
ELECTRICAL	
	LIGHT POINT
	LED DOWNLIGHT
	LIGHT SWITCH
	2 WAY LIGHT SWITCH
	WALL LIGHT
	SMOKE ALARM
	SINGLE POWER POINT
	DOUBLE POWER POINT
	GAS BAYONET
	EXHAUST FAN
	3-IN-1 FAN/HEAT/LIGHT COMBO

KITCHEN	
WO	WALL OVEN
UBO	UNDERBENCH OVEN
FSO	FREESTANDING OVEN
MW/P	MICROWAVE PROVISION
DW/P	DISHWASHER PROVISION
F	REFRIGERATOR
D	DRAWERS

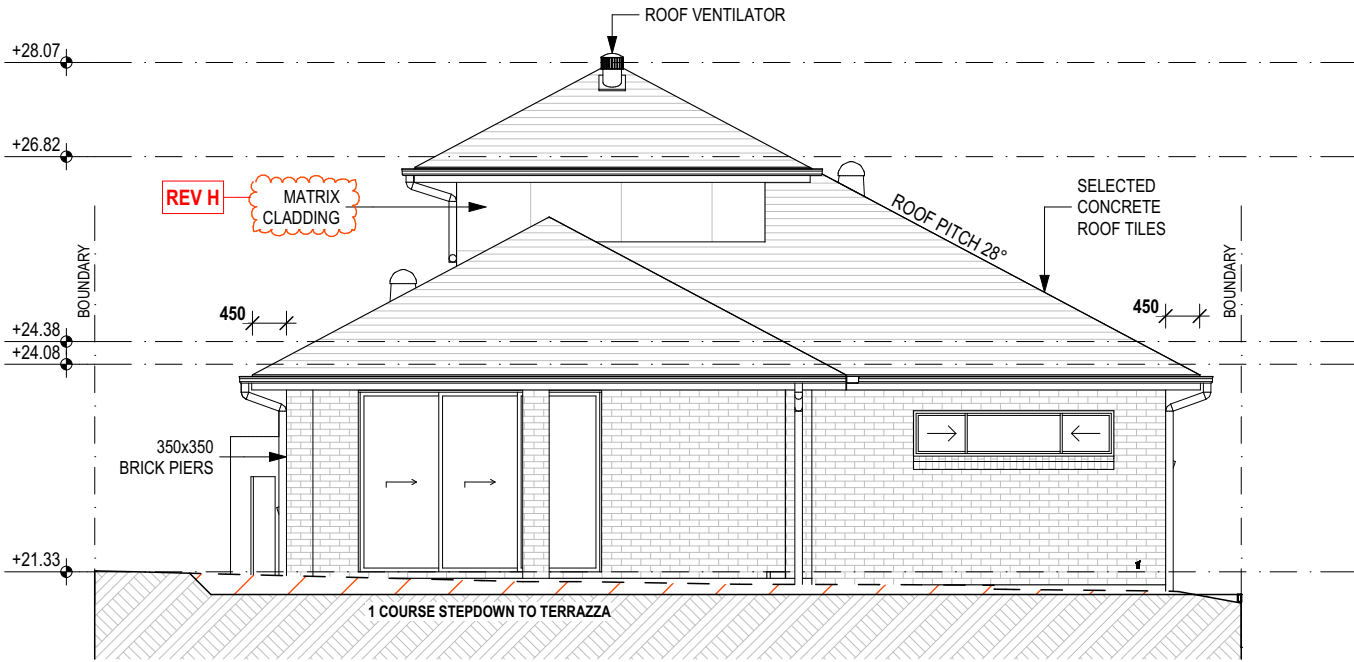
GENERAL	
MH	MANHOLE
EJ	EXPANSION JOINT
MB	METER BOX
HWS	HOT WATER SYSTEM
(W01)	WINDOW/DOOR ID CODE
SQST	SQUARE SET
A/C	AIR CONDITIONING UNIT
DP	DOWNPIPE
ST	STACK POINT
	JOIST DIRECTION





FRONT ELEVATION

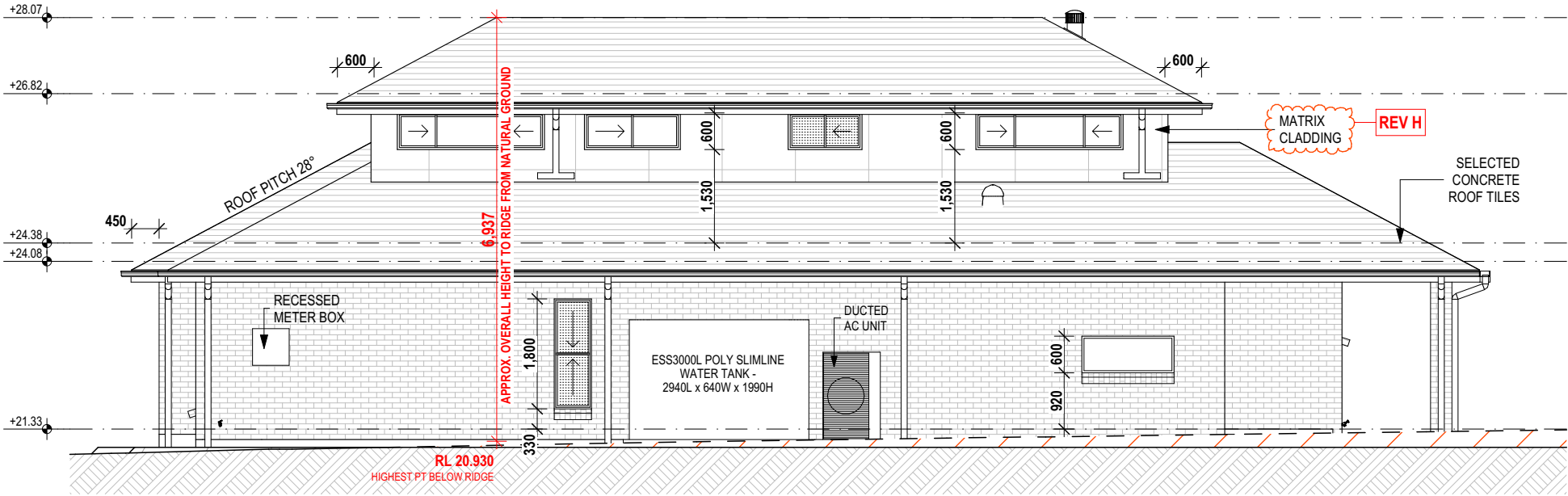
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REAR ELEVATION

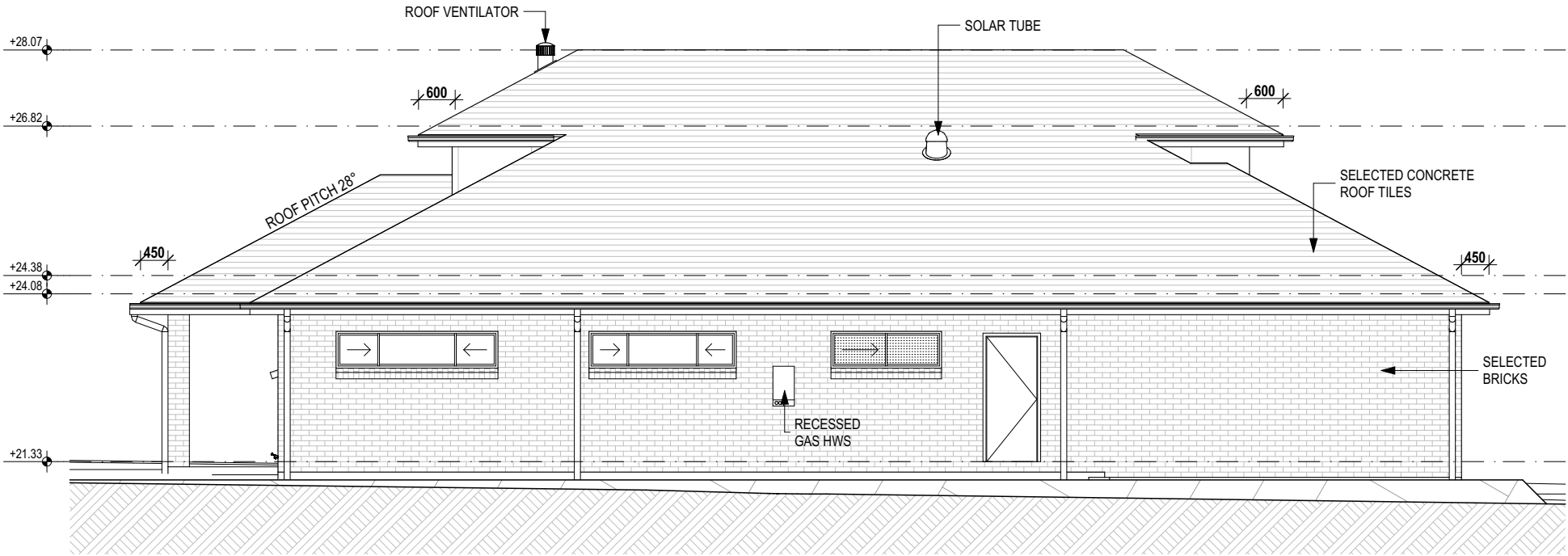
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					DG LHS				



RIGHT ELEVATION

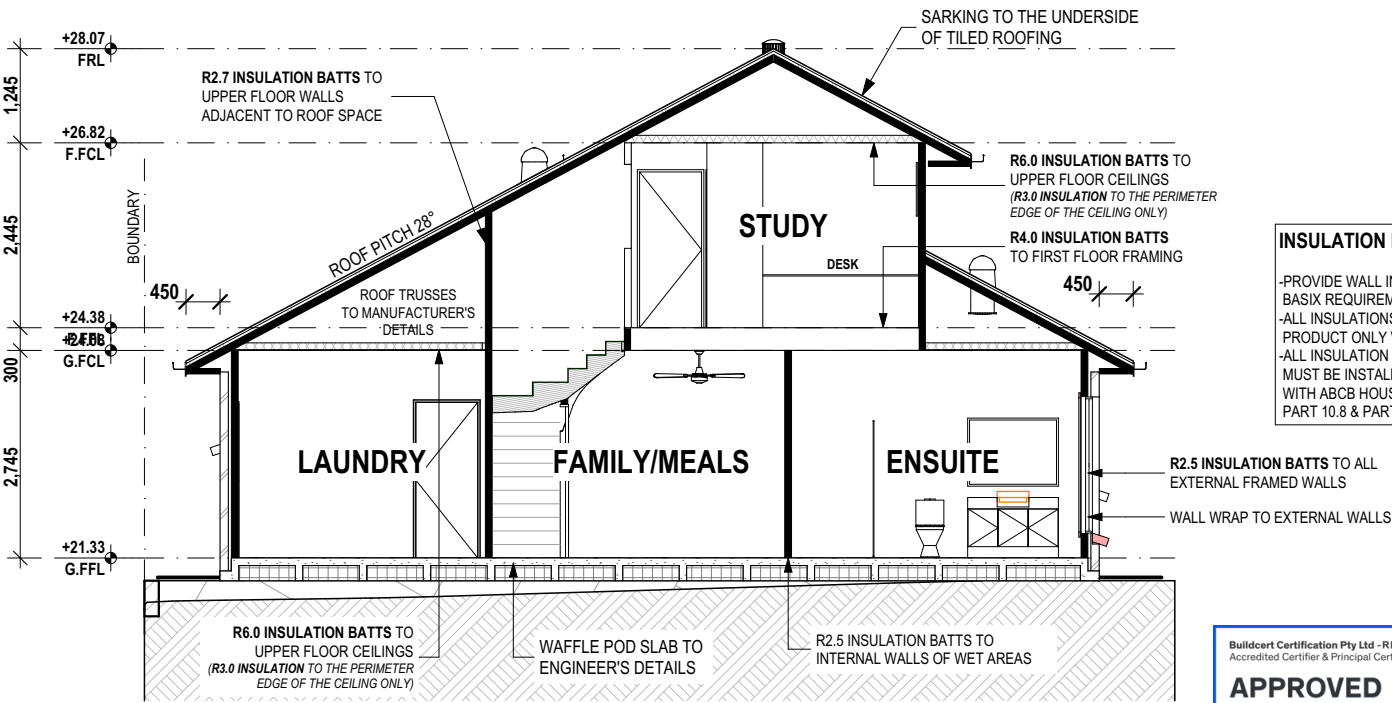
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LEFT ELEVATION

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					DG LHS				



INSULATION NOTES:

-PROVIDE WALL INSULATION AS PER BASIX REQUIREMENTS.
-ALL INSULATIONS LISTED ARE PRODUCT ONLY VALUES.
-ALL INSULATION VAPOUR MEMBRANES MUST BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8 & PART 13.

Buildcert Certification Pty Ltd - RBC 8
Accredited Certifier & Principal Certifying Authority

APPROVED

CERTIFICATE No: CC/5676612

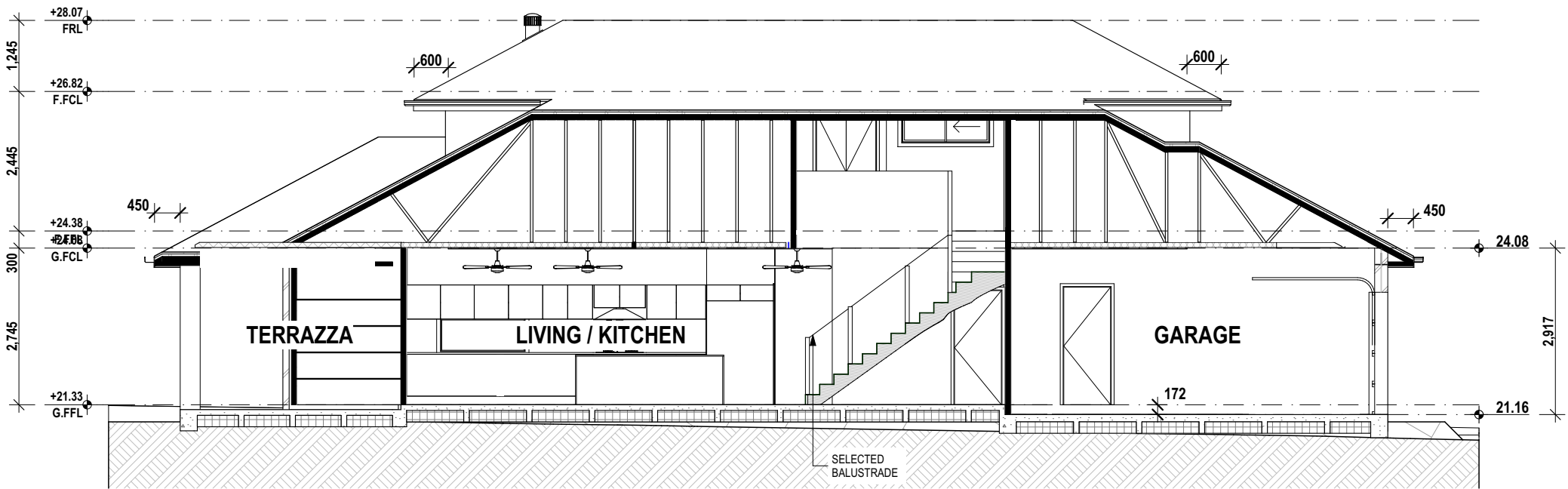
DATE: 12/05/2025

Buildcert.

S/01
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SECTION S/01
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TIMBER FRAME DROP OFFS

	BEECHWOOD	
	Colorbond® Metal Roof	TILE Roof
18°	280 mm	255 mm
20°	285 mm	260 mm
21°	290 mm	265 mm
22°	295 mm	270 mm
22.5°	300 mm	275 mm
24°	320 mm	285 mm
25°	330 mm	295 mm
26°	340 mm	305 mm
28°	350 mm	315 mm



S/02
5
SECTION S/02
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BASIX NOTES

- INSTALLED IN ACCORDANCE WITH APPLICABLE REGULATORY AUTHORITIES.
- RAINWATER TANK TO BE SUPPLIED WITH A MIN. 3000LTR CAPACITY.
 - RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AS PER SCHEDULE THE ROOF AREA.
 - RAINWATER TANK SUPPLY CONNECTED TO ALL TOILETS IN THE DEVELOPMENT.
 - RAINWATER TANK SUPPLY CONNECTED TO AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.
 - ACTIVE COOLING TO BE INSTALLED.
 - THREE PHASE A/C SYSTEM (EER 2.5-3.0)** ACTIVE COOLING TO BE INSTALLED PRIOR TO FINAL OCCUPATION CERTIFICATE, OR ONE WITH A HIGHER EER FOR THE LIVING AND THE BEDROOMS OF THE DWELLING.
 - ACTIVE HEATING TO BE INSTALLED.
 - THREE PHASE A/C SYSTEM (EER 2.5-3.0)** ACTIVE HEATING TO BE INSTALLED PRIOR TO FINAL OCCUPATION CERTIFICATE, OR ONE WITH A HIGHER EER FOR THE LIVING AND THE BEDROOMS OF THE DWELLING.
 - THE COOLING AND HEATING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS.
 - PROVIDE 4 STAR SHOWER HEADS TO ALL SHOWERS.
 - PROVIDE 5 STAR TAPWARE TO ALL VANITY TAPS
 - PROVIDE A 4 STAR KITCHEN SINK TAP.
 - PROVIDE A 4 STAR DUAL FLUSH CISTERN TO ALL TOILETS.
 - GAS COOKTOP TO KITCHEN
 - ELECTRIC OVEN TO KITCHEN.
 - PROVIDE DOUBLE GLAZING THROUGHOUT EXCEPT FOR W02 OF MAIN DWELLING (SINGLE LOW-E CLEAR).
 - PROVIDE 6 STAR GAS INSTANTENOUS HOT WATER SYSTEM.
 - MIN. 80% OF LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LEDs LAMPS. ALL DOWNLIGHTS ARE TO HAVE IC RATING.
 - ALL BATH / TOILET ROOMS ARE TO HAVE AT LEAST ONE WINDOW FOR NATURAL LIGHTING.
 - PROVIDE ONE (1) OUTDOOR CLOTHES DRYING LINE.
 - ALL EXTERNAL DOORS ARE TO HAVE DRAFT PROTECTION AND WEATHER SEALS.
- VENTILATION**
- AT LEAST 1 BATHROOM: INDIVIDUAL FAN, NOT DUCTED WITH MANUAL SWITCH ON/OFF.
 - KITCHEN: INDIVIDUAL FAN, NOT DUCTED (DUCTED TO FACADE OR ROOF) WITH MANUAL SWITCH ON/OFF.
 - L'DRY TO HAVE NATURAL VENTILATION ONLY.
 - ALL EXHAUST FANS ARE TO HAVE DAMPERS.

Date	Tender	Revision	Drawn	Rev. ID	HOUSE TYPE:	DRAWING:	CLIENT:	LODGEMENT :	PROJECT ID :
28.04.25	-	CERTIFIER AMENDMENTS	A.C.	I	BAROSSA FOUR GUEST	SECTION	MR. T LE & MRS. L LE	DA/CC	P-208951
					LOFT 30 + SEMILLON TWO G/FLAT	STAGE:	SITE ADDRESS:	DRAWN BY:	ISSUE DATE:
					FACADE:	CONSTRUCTION PLANS	DP: 15574 LOT 2, H#241	CP	03.06.24
					CLASSIC 3	COUNCIL :	THE RIVER ROAD,	REV.:	SHEET:
					GARAGE: POSITION:	CANTERBURY- BANKSTOWN	REVESBY, NSW 2212	I	9/14
					DG LHS				

NOTES

- RECESS GROUND FLOOR WET AREAS CONCRETE SLAB
- PROVIDE RANGEHOOD, OVERHEAD CUPBOARDS WITH BULKHEAD TO KITCHEN
- TREATED PINE FRAME & TRUSSES
- MASONARY CONTROL JOINTS TO COMPLY WITH AS 4773.2 & BCA 3.3.5.13
- PROVIDE GLAZING AS PER WINDOW/DOOR SCHEDULES & NATHERS CERTIFICATES
- AS3786 & NCC HOUSING PROVISIONS CLAUSE 9.5.2 - HALL SERVICING BED 1 IN SECONDARY DWELLING

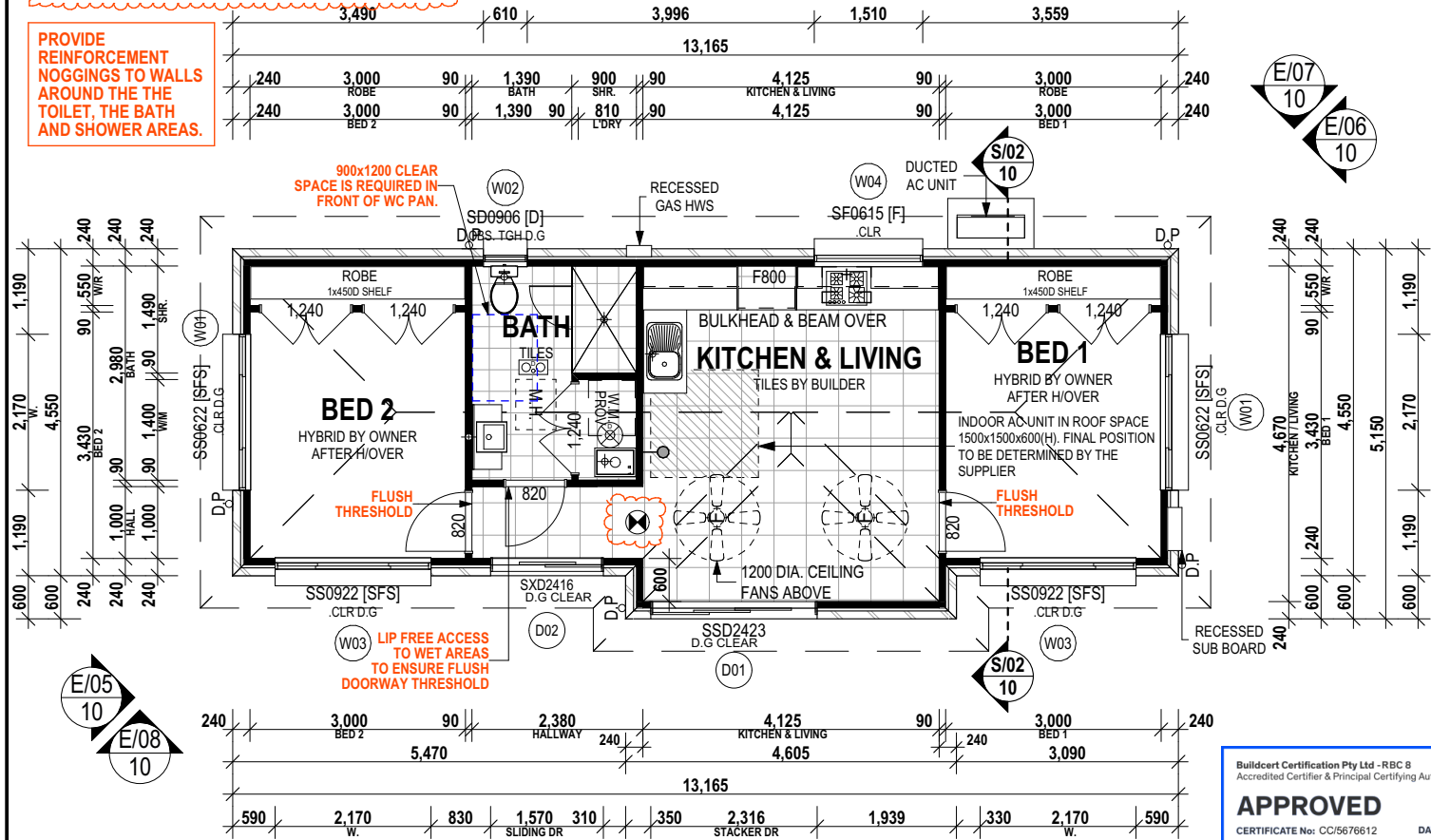
PROVIDE REINFORCEMENT NOGGINGS TO WALLS AROUND THE TOILET, THE BATH AND SHOWER AREAS.

2,745 HIGH CEILINGS

THERMAL WALL WRAP

LIVABLE HOUSING - SILVER LEVEL

WAFFLE POD SLAB CONSTRUCTION

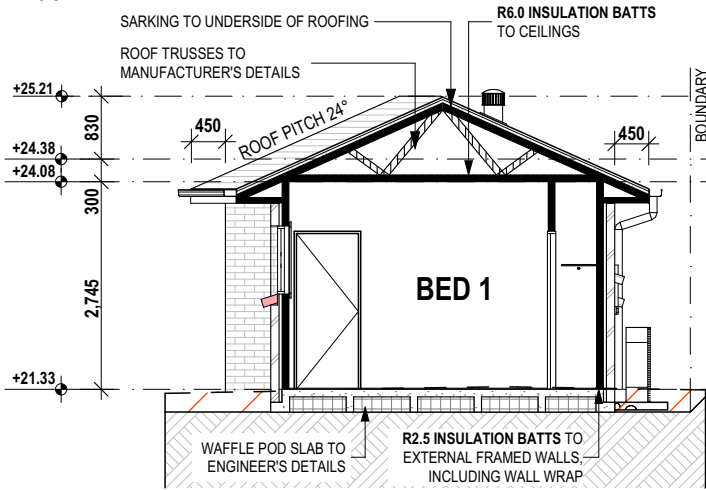


FLOORPLAN

GRANNY FLAT 1:100

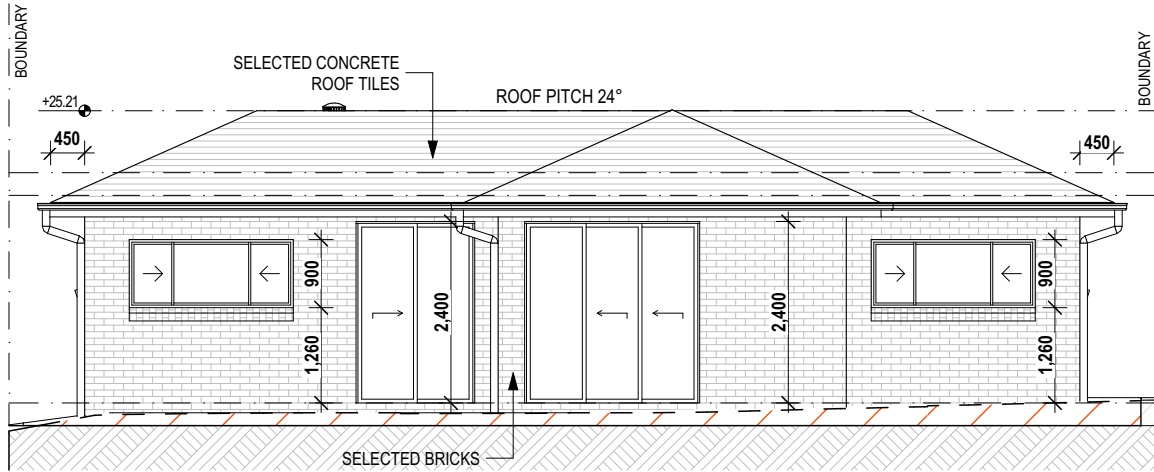
ROOF SCHEDULE	
PITCH	AREA m ²
24.00°	87.54
28.00°	312.88
	400.42 m ²

HOUSE AREAS	
	AREA m ²
1. G/FLAT FLOOR	62.66
1. GROUND FLOOR	169.69
2. GARAGE	35.72
3. PATIO	2.87
4. GRAND TERRAZZA	28.94
5. LOFT FLOOR	51.93
	351.81 m ²



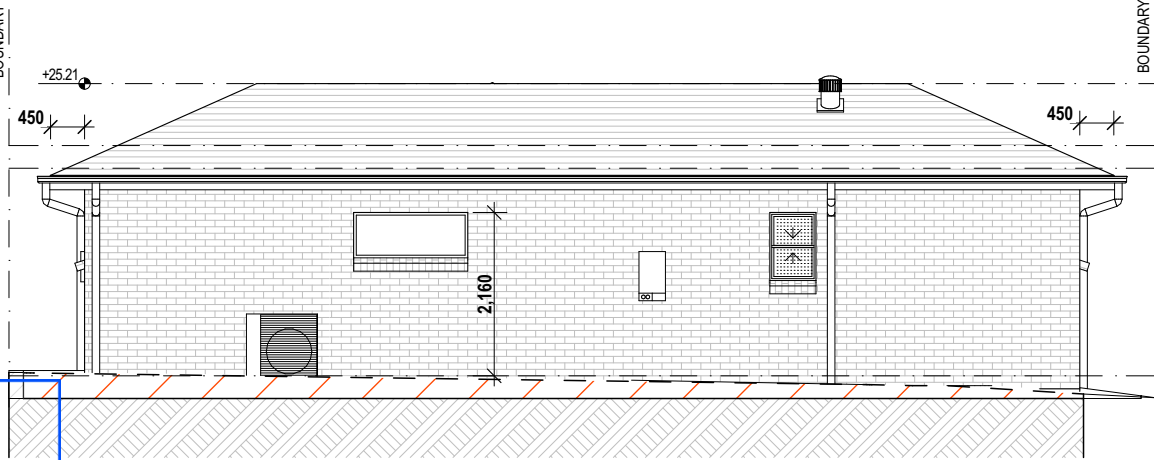
SECTION S/03

GRANNY FLAT 1:100



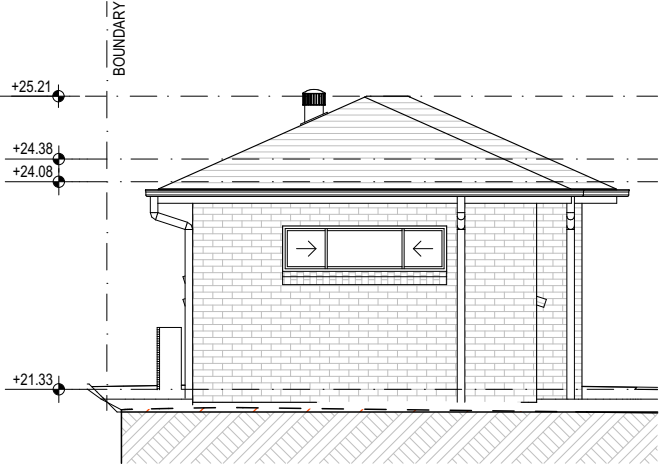
FRONT ELEVATION

GRANNY FLAT 1:100



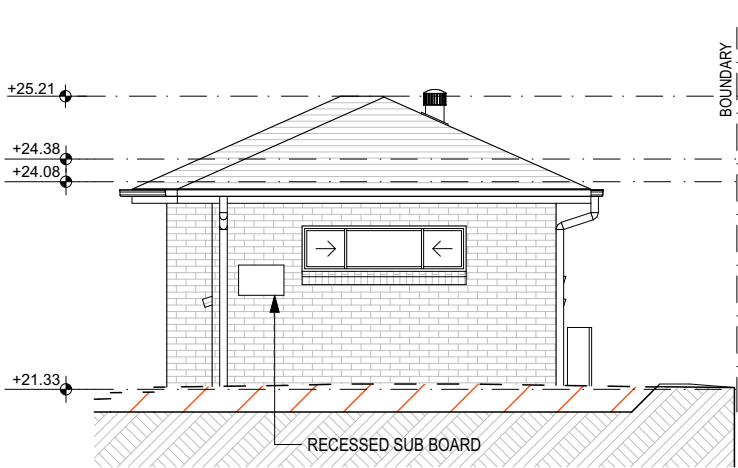
REAR ELEVATION

GRANNY FLAT 1:100



LEFT ELEVATION

GRANNY FLAT 1:100



RIGHT ELEVATION

GRANNY FLAT 1:100

LEGEND / KEY

SITEWORKS AND MANAGEMENT PLAN

BOUNDARY	BOUNDARY
S	SEWER LINE
SED	SEDIMENT CONTROL FENCE
DEP	ADDITIONAL DROP EDGE BEAM
NGL	NATURAL GROUND LEVEL
SW	STORMWATER LINE
WC	WATER CLOSET
STO	STORAGE SHED
GC	GENERAL WASTE COLLECTION
MW	MASONRY WASTE COLLECTION
MSA	MATERIAL STORAGE AREA
AVP	ALL WEATHER VEHICLE STABILISED ACCESS POINT

ELECTRICAL

LP	LIGHT POINT
LD	LED DOWNLIGHT
LS	LIGHT SWITCH
2WS	2 WAY LIGHT SWITCH
WL	WALL LIGHT
SA	SMOKE ALARM
SP	SINGLE POWER POINT
DP	DOUBLE POWER POINT
GB	GAS BAYONET
EF	EXHAUST FAN
3FHL	3-IN-1 FAN/HEAT/LIGHT COMBO

KITCHEN

WO	WALL OVEN
UBO	UNDERBENCH OVEN
FSO	FREESTANDING OVEN
MW/P	MICROWAVE PROVISION
DW/P	DISHWASHER PROVISION
F	REFRIGERATOR
D	DRAWERS

GENERAL

MH	MANHOLE
EJ	EXPANSION JOINT
MB	METER BOX
HWS	HOT WATER SYSTEM
W01	WINDOW/DOOR ID CODE
SQST	SQUARE SET
A/C	AIR CONDITIONING UNIT
DP	DOWNPIPE
ST	STACK POINT
JD	JOIST DIRECTION

Date	Tender	Revision	Drawn	Rev. ID	HOUSE TYPE:
13.09.24		LODGE	AV	E	BAROSSA FOUR GUEST
18.10.24	4	UPDATED LODGE	AV	F	LOFT 30 + SEMILLON TWO G/FLAT
28.01.25	-	COUNCIL CHANGES	A.C.	G	FACADE:
01.04.25	6	CONSTRUCTION CERT & DA REVIEW	A.C.	H	CLASSIC 3
28.04.25	-	CERTIFIER AMENDMENTS	A.C.	I	GARAGE: POSITION:
					DG LHS

Beechwood
your family home
BEECHWOOD HOMES (NSW) PTY LTD ACN 132 370 104
LICENCE NUMBER - 207765C
SYDNEY NORTH COAST SOUTH COAST

DRAWING:	GRANNY FLAT
STAGE:	CONSTRUCTION PLANS
COUNCIL:	CANTERBURY- BANKSTOWN

CLIENT:	MR. T LE & MRS. L LE
SITE ADDRESS:	DP: 15574 LOT 2, H#241 THE RIVER ROAD, REVESBY, NSW 2212

LODGE	PROJECT ID:
DA/CC	P-208951
DRAWN BY:	ISSUE DATE:
CP	03.06.24
REV.:	SHEET:
I	10/14

EXTERNAL CORNER DETAIL

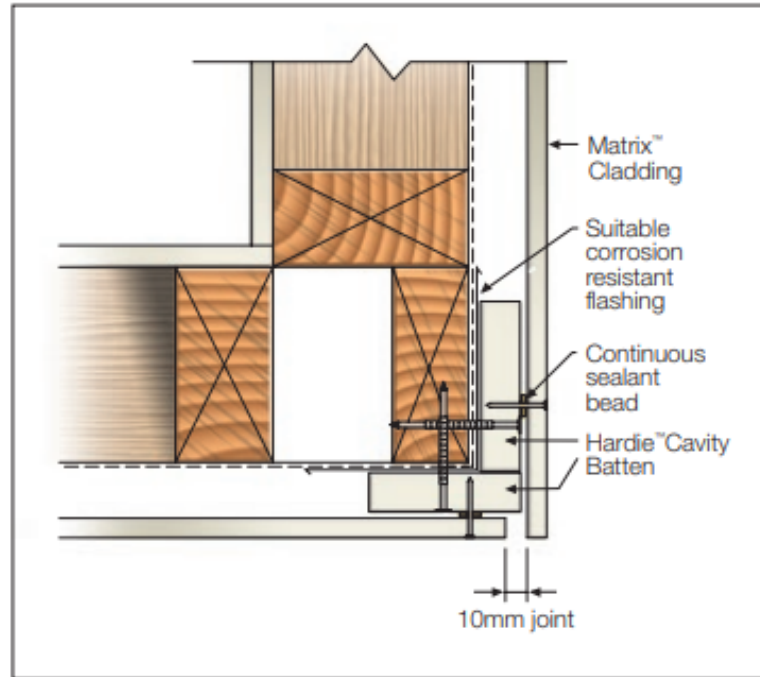


FIGURE 28 EXTERNAL CORNER DETAIL

INTERNAL CORNER DETAIL

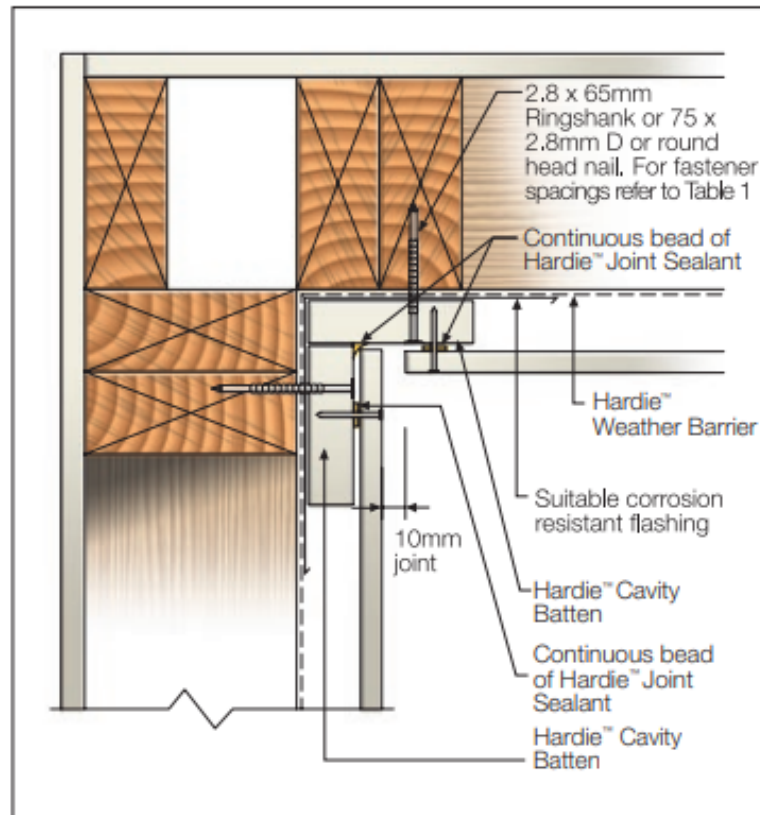


FIGURE 29 INTERNAL CORNER DETAIL

WINDOWS/PARAPETS

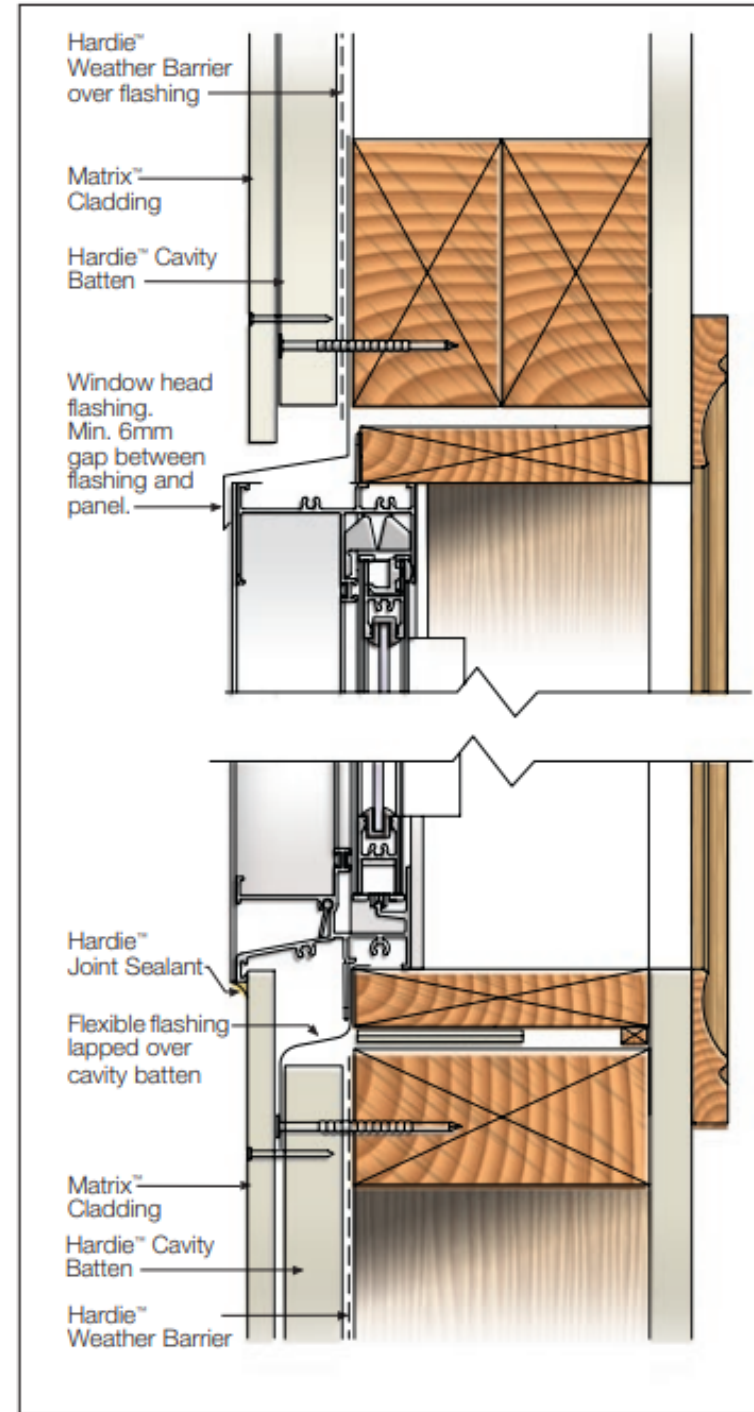


FIGURE 24 WINDOW HEAD/SILL DETAIL

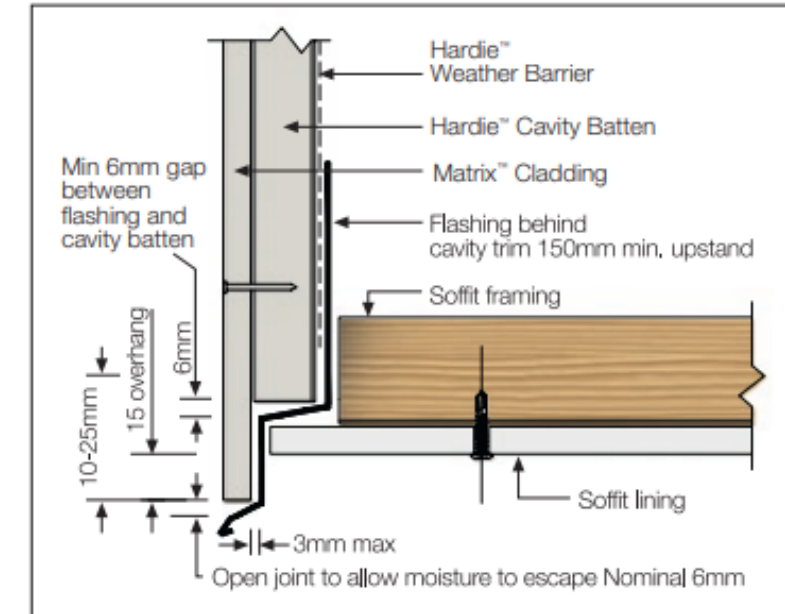


FIGURE 33 FACADE/SOFFIT JUNCTION



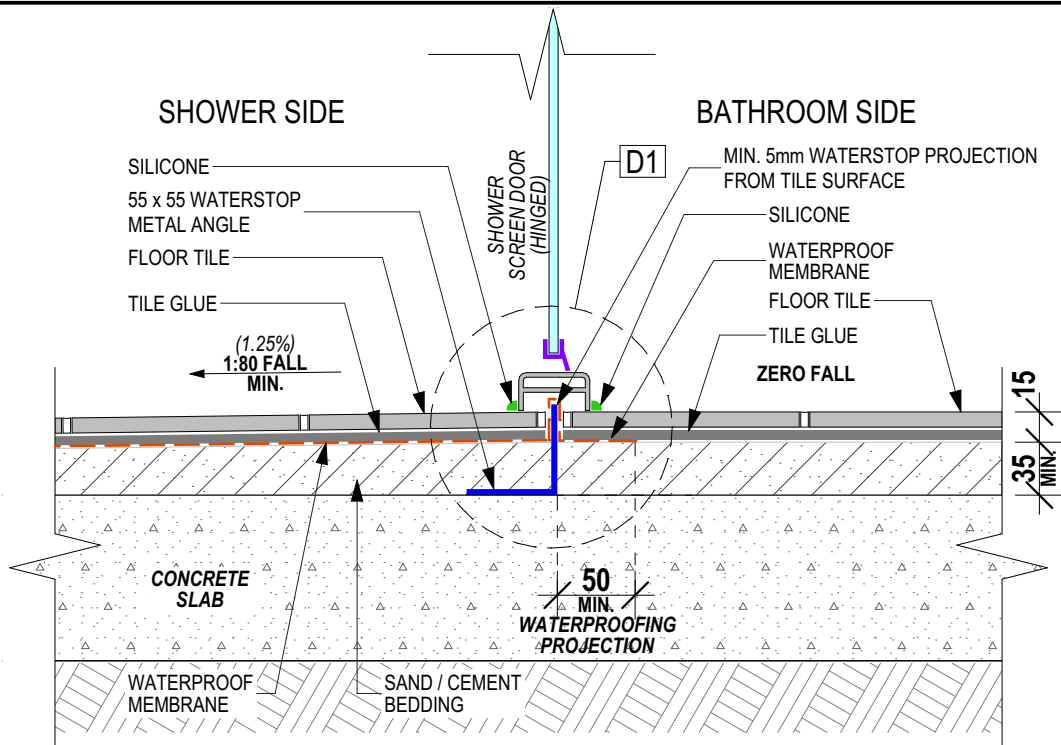
Date	Tender	Revision	Drawn	Rev. ID	HOUSE TYPE:
28.04.25	-	CERTIFIER AMENDMENTS	A.C.	I	BAROSSA FOUR GUEST
					LOFT 30
					FACADE:
					CLASSIC 3
					GARAGE: POSITION:
					DG LHS

Beechwood
your family home
BEECHWOOD HOMES (NSW) PTY LTD ACN 132 370 104
LICENCE NUMBER - 207765C
SYDNEY NORTH COAST SOUTH COAST

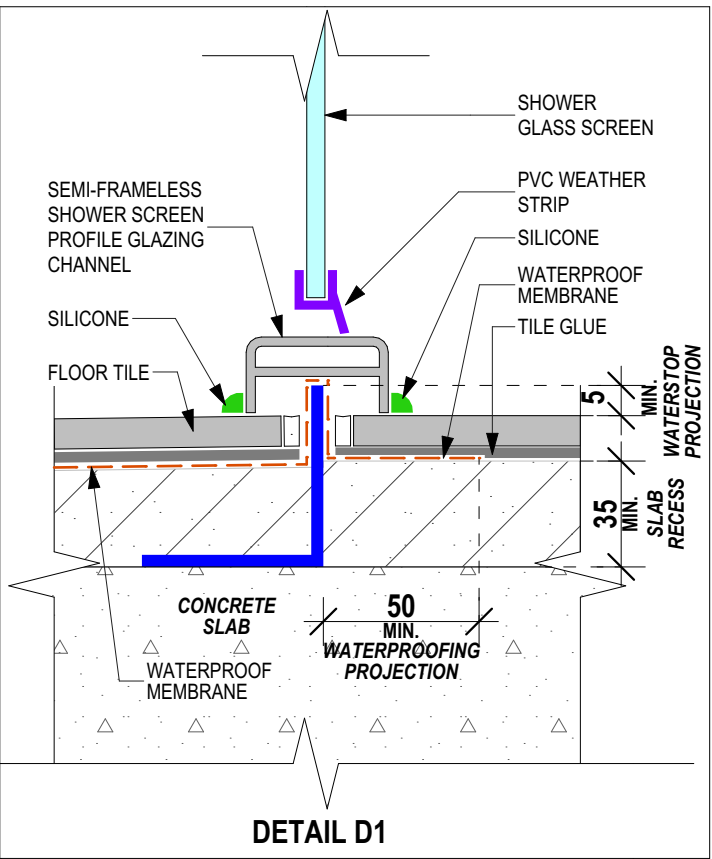
DRAWING:
MATRIX CLADDING DETAILS
STAGE:
CONSTRUCTION PLANS
COUNCIL:
CANTERBURY- BANKSTOWN

CLIENT:
MR. T LE & MRS. L LE
SITE ADDRESS:
**DP: 15574 | LOT 2, H#241
THE RIVER ROAD,
REVESBY, NSW 2212**

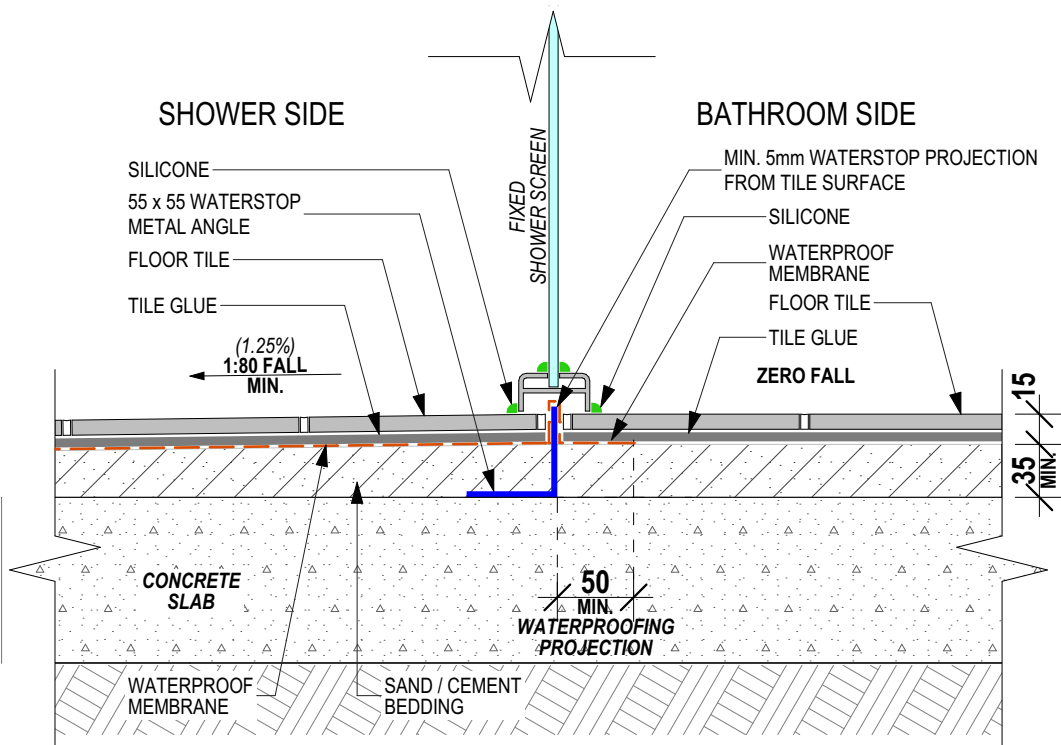
LODGEMENT :
DA/CC
PROJECT ID :
P-208951
DRAWN BY:
CP
ISSUE DATE:
03.06.24
REV.:
I
SHEET:
11/14



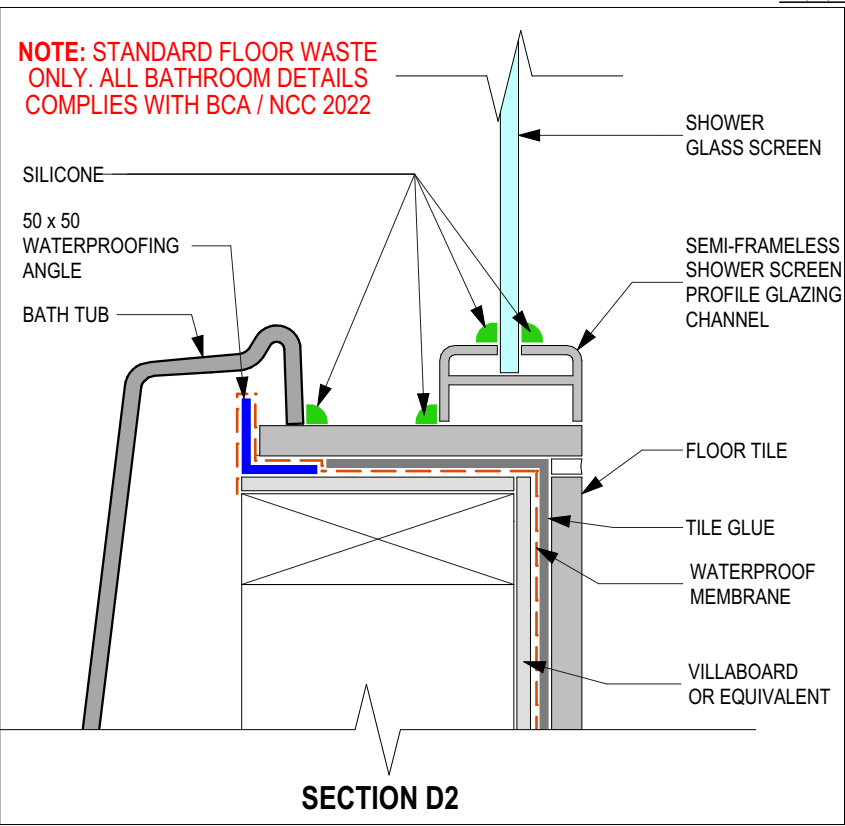
SEMI FRAMELESS & MIRAGE SHOWER SCREEN DOORS WATERPROOFING WITH 35mm RECESS TO SLAB
BEDDING MAY VARY IN HEIGHT SUBJECT TO DRAIN SELECTION



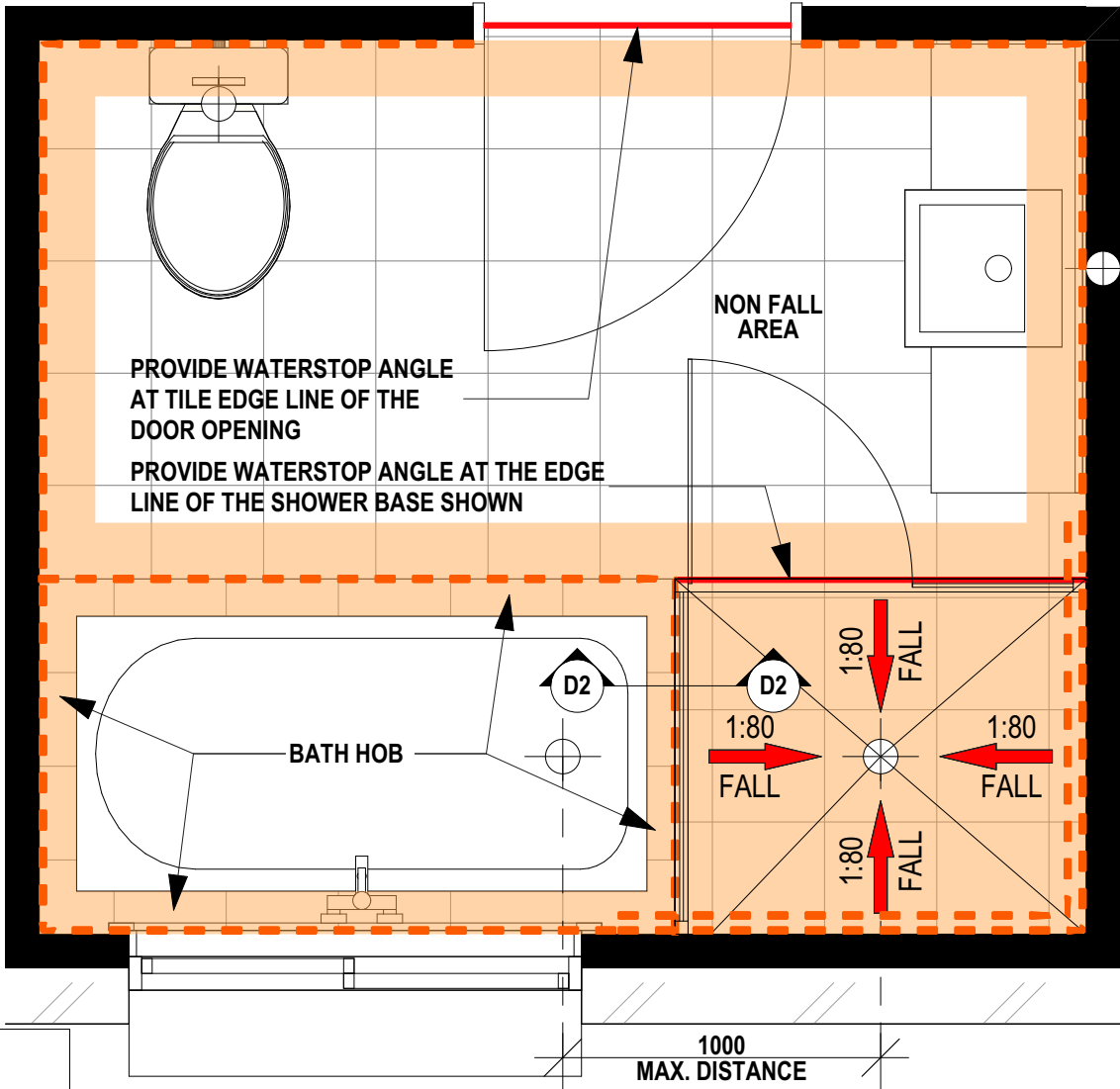
IMPORTANT NOTE: 35mm SLAB RECESS ONLY APPLIES TO THE TYPICAL STANDARD FLOOR WASTES. IF USING SMART TILE INSERT OR LINEAR DRAINAGE FLOOR WASTES, A 50mm SLAB RECESS IS REQUIRED.



SEMI FRAMELESS & MIRAGE SHOWER SCREEN WATERPROOFING WITH 35mm RECESS TO SLAB
BEDDING MAY VARY IN HEIGHT SUBJECT TO DRAIN SELECTION
NO STEPDOWN TO SHOWER
FOR SHOWER EDGE TO FLOOR WASTE DISTANCE OF BETWEEN 450mm - 750mm



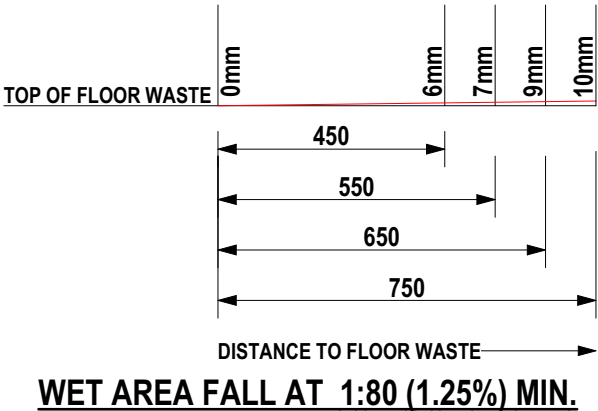
NOTE: STANDARD FLOOR WASTE ONLY. ALL BATHROOM DETAILS COMPLIES WITH BCA / NCC 2022



TYPICAL BATHROOM LAYOUT PLAN

LEGEND

- FALL MIN 1:80
- WATERPROOFING AREA
- FLOOR WASTE
- VERTICAL WATERPROOF MEMBRANE MIN 1.8m HEIGHT
- VERTICAL WATERPROOF MEMBRANE MIN 150mm HEIGHT



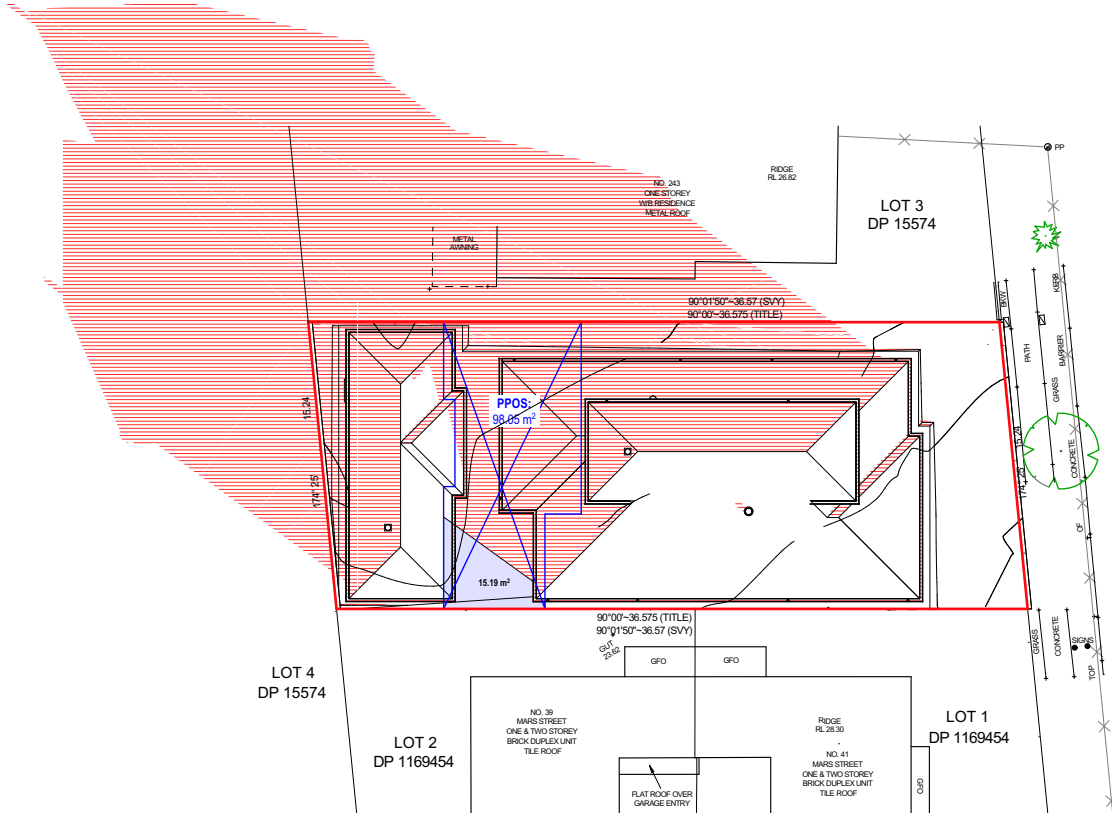
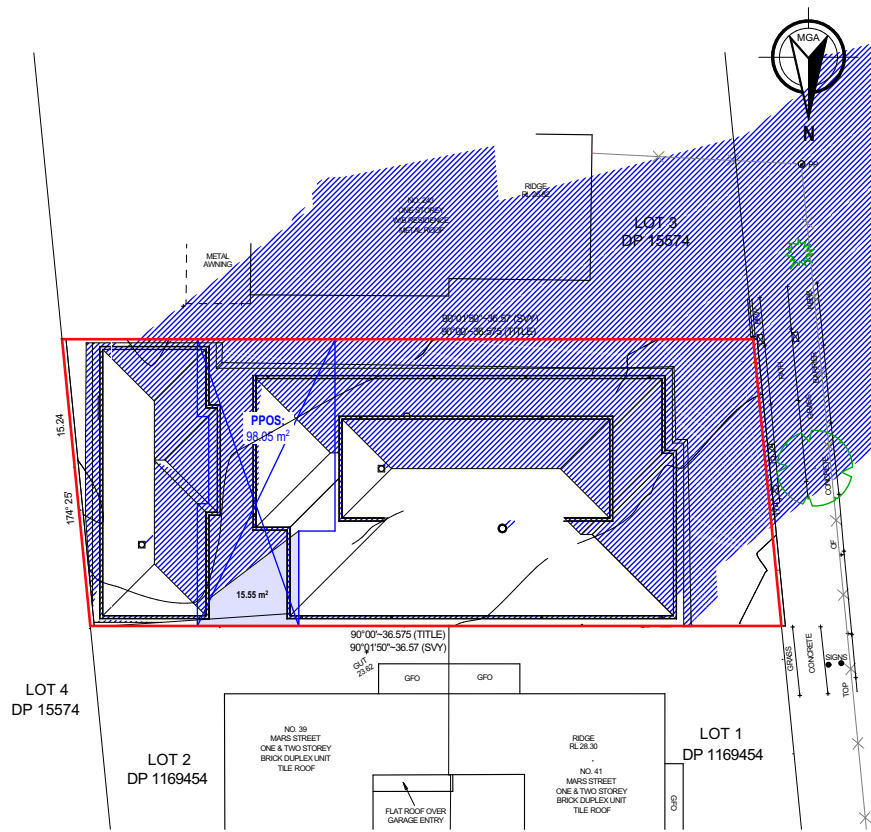
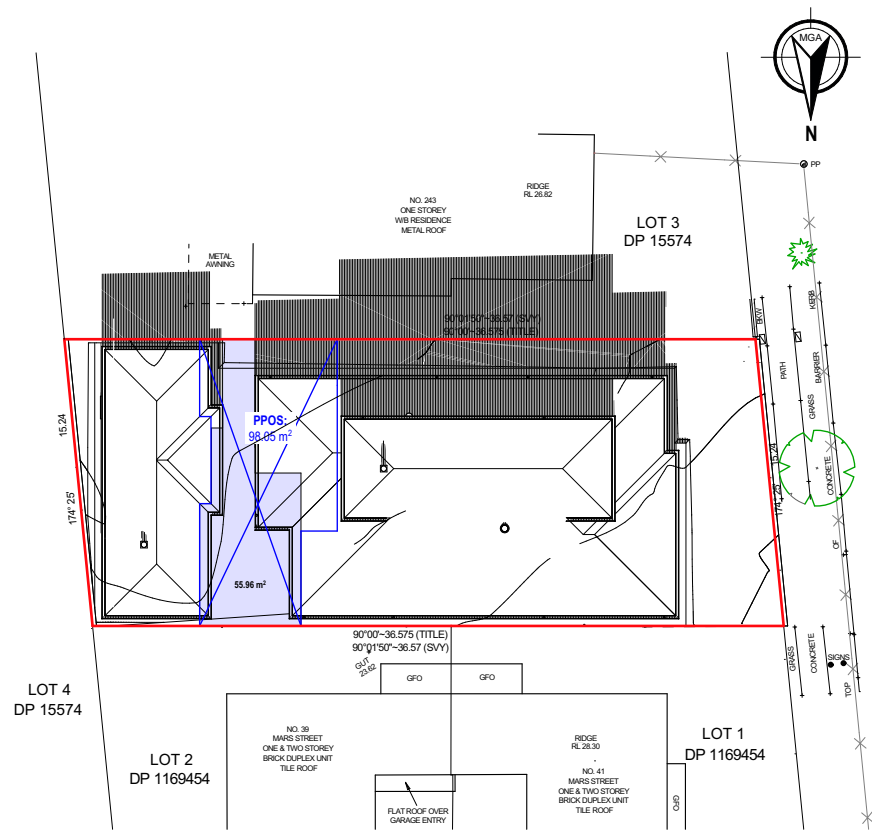
Date	Tender	Revision	Drawn	Rev. ID	HOUSE TYPE:
28.04.25	-	CERTIFIER AMENDMENTS	A.C.	I	BAROSSA FOUR GUEST
					LOFT 30
					FACADE:
					CLASSIC 3
					GARAGE:
					DG
					POSITION:
					LHS

Beechwood
your family home
BEECHWOOD HOMES (NSW) PTY LTD ACN 132 370 104
LICENCE NUMBER - 207765C
SYDNEY NORTH COAST SOUTH COAST

DRAWING:	WET AREA DETAILS
STAGE:	CONSTRUCTION PLANS
COUNCIL:	CANTERBURY- BANKSTOWN

CLIENT:	MR. T LE & MRS. L LE
SITE ADDRESS:	DP: 15574 LOT 2, H#241 THE RIVER ROAD, REVESBY, NSW 2212

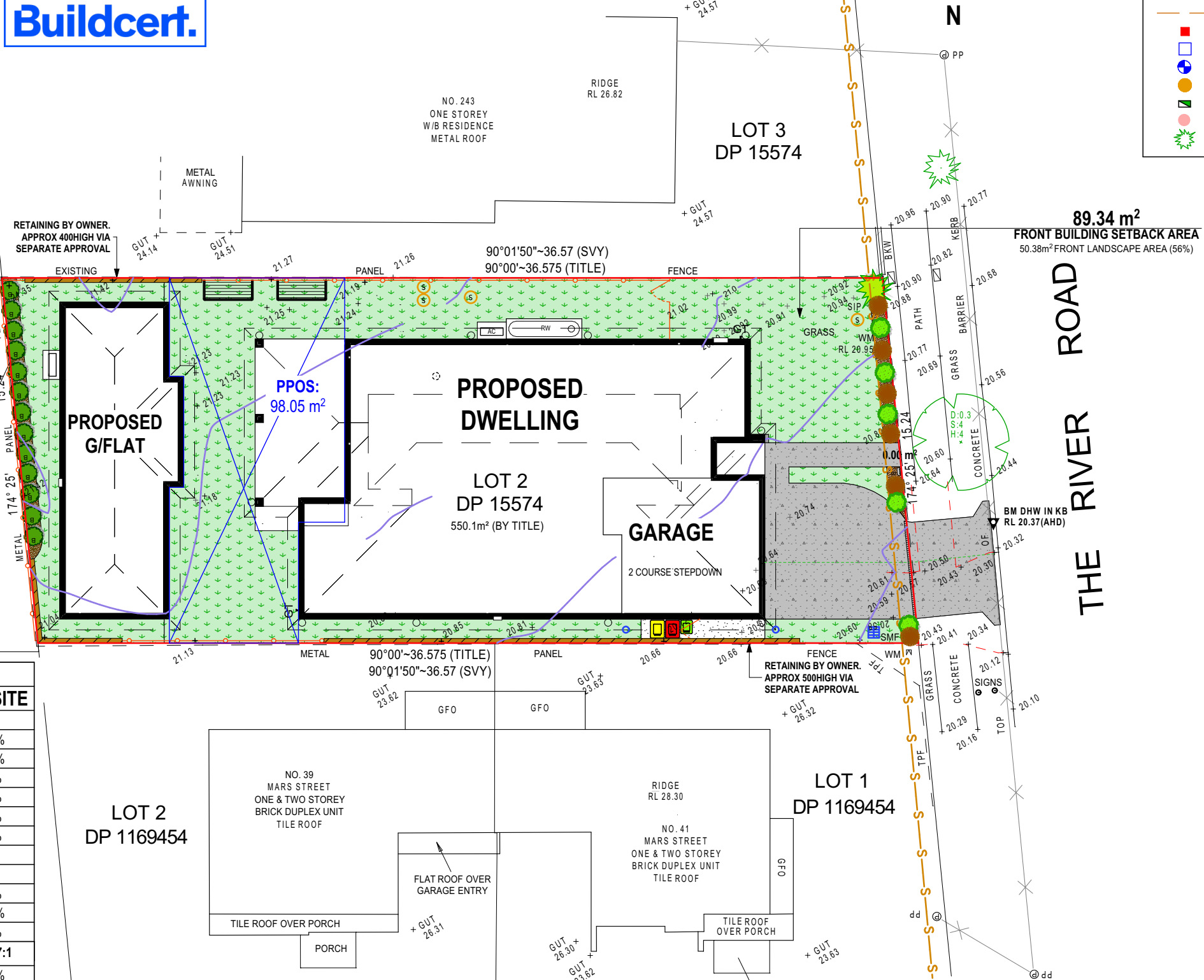
LODGEMENT :	PROJECT ID :
DA/CC	P-208951
DRAWN BY:	ISSUE DATE:
CP	03.06.24
REV.:	SHEET:
I	12/14



SHADOW DIAGRAMS - JUNE 21
1:400

SHADOW DIAGRAM LEGEND			
8AM		8AM	
12PM		12PM	
4PM		4PM	

Date	Tender	Revision	Drawn	Rev. ID	HOUSE TYPE: BAROSSA FOUR GUEST LOFT 30 FACADE: CLASSIC 3 GARAGE: POSITION: DG LHS	Beechwood your family home BEECHWOOD HOMES (NSW) PTY LTD ACN 132 370 104 LICENCE NUMBER - 207765C SYDNEY NORTH COAST SOUTH COAST	DRAWING: SHADOW DIAGRAMS STAGE: CONSTRUCTION PLANS COUNCIL: CANTERBURY- BANKSTOWN	CLIENT: MR. T LE & MRS. L LE SITE ADDRESS: DP: 15574 LOT 2, H#241 THE RIVER ROAD, REVESBY, NSW 2212	LODGEMENT : DA/CC DRAWN BY: CP REV.: I	PROJECT ID : P-208951 ISSUE DATE: 03.06.24 SHEET: 13/14
13.09.24		LODGEMENT PLANS	AV	E						
18.10.24	4	UPDATED LODGEMENT PLANS WITH BASIX INFO	AV	F						
28.01.25	-	COUNCIL CHANGES	A.C.	G						
01.04.25	6	CONSTRUCTION CERT & DA REVIEW	A.C.	H						
28.04.25	-	CERTIFIER AMENDMENTS	A.C.	I						



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Drawn	Rev. ID
AV	E
AV	F
A.C.	G
A.C.	H
A.C.	I

HOUSE TYPE:	
BAROSSA FOUR GUEST	
LOFT 30	
FACADE:	
CLASSIC 3	
GARAGE:	POSITION:
DG	LHS

Beechwood 
your family home

BEECHWOOD HOMES (NSW) PTY LTD ACN 132 370 104
LICENCE NUMBER - 207765C
SYDNEY NORTH COAST SOUTH COAST

DRAWING:	LANDSCAPE PLAN
STAGE:	CONSTRUCTION PLANS
COUNCIL :	CANTERBURY- BANKSTOWN

CLIENT:
MR. T LE & MRS. L LE

SITE ADDRESS:
DP: 15574 | LOT 2, H#241
THE RIVER ROAD,
REVESBY, NSW 2212

LODGE MENT : DA/CC	PROJECT ID : P-208951
DRAWN BY: CP	ISSUE DATE: 03.06.24
REV.: I	SHEET: 14/14

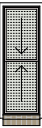
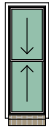
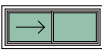
SURVEYORS LEGEND

	BOUNDARY LINE
	ADJACENT BOUNDARY
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	EASEMENT
	RETAINING WALL
	TOP & TOE OF BANKS
	ELECTRICAL PILLAR
	DRAINAGE PIT
	WATER METER
	SEWER MAN HOLE
	TELSTRA PIT
	LIGHT POLE
	SHRUB

LEGEND / KEY	
SITeworks AND MANAGEMENT PLAN	
	BOUNDARY
	SEWER LINE
	SEDIMENT CONTROL FENCE
	ADDITIONAL DROP EDGE BEAM
NGL	NATURAL GROUND LEVEL
	STORMWATER LINE
	WATER CLOSET
	STORAGE SHED
	GENERAL WASTE COLLECTION
	MASONRY WASTE COLLECTION
	MATERIAL STORAGE AREA
	ALL WEATHER VEHICLE STABILISHED ACCESS POINT
ELECTRICAL	
	LIGHT POINT
	LED DOWNLIGHT
	LIGHT SWITCH
	2 WAY LIGHT SWITCH
	WALL LIGHT
	SMOKE ALARM
	SINGLE POWER POINT
	DOUBLE POWER POINT
	GAS BAYONET
	EXHAUST FAN
	3-IN-1 FAN/HEAT/LIGHT COMBO
KITCHEN	
WO	WALL OVEN
UBO	UNDERBENCH OVEN
FSO	FREESTANDING OVEN
MW/P	MICROWAVE PROVISION
DW/P	DISHWASHER PROVISION
F	REFRIGERATOR
D	DRAWERS
GENERAL	
	MANHOLE
EJ	EXPANSION JOINT
MB	METER BOX
HWS	HOT WATER SYSTEM
	WINDOW/DOOR ID CODE
SQST	SQUARE SET
A/C	AIR CONDITIONING UNIT
DP	DOWNPIPE
ST	STACK POINT
	JOIST DIRECTION

CONCEPT LANDSCAPE PLAN

1:200

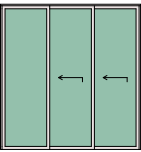
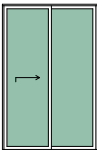
WINDOW SCHEDULE - MAIN DWELLING												
HOME STORY	G.FFL						F.FFL					
ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11	
MODEL	SD1806 [D]	SF0615 [F]	SS0627 [SFS]	SS0624 [SFS]	SS0618 [SF]	SD1806 [D]	SS0624 [SFS]	SS0612 [FS]	SS0616 [SF]	SS0624 [SFS]	SS0624 [SFS]	
ELEVATION												
WIDTH	610	1,510	2,650	2,410	1,810	610	2,410	1,210	1,570	2,410	2,410	
HEIGHT	1,800	600	600	600	600	1,800	600	600	600	600	600	
HEAD HEIGHT	2,130	1,520	2,130	2,130	2,130	2,160	2,130	2,130	2,130	2,130	2,130	
REVEAL	PRIMED PINE	PRIMED PINE	PRIMED PINE	PRIMED PINE	PRIMED PINE	PRIMED PINE	PRIMED PINE	PRIMED PINE	PRIMED PINE	PRIMED PINE	PRIMED PINE	
GLAZING	Obscure Glass	Low E Coating	Low E Coating	Low E Coating	Obscure Glass	Clear Glass	Low E Coating	Obscure Glass	Low E Coating	Low E Coating	Low E Coating	
GLAZING SYSTEM	Double Glazing	Single Glazing	Double Glazing	Double Glazing	Double Glazing	Double Glazing	Double Glazing	Double Glazing	Double Glazing	Double Glazing	Double Glazing	
TOUGHENED GLASS	☒	☐	☐	☐	☒	☐	☐	☒	☐	☐	☐	
QTY	1	1	2	1	1	3	1	1	1	1	1	14

- WINDOW / DOOR NOTES:**
- WIDELINE ALUMINIUM FRAMED WINDOWS.
 - WINDOW PERFORMANCE VALUES AS PER NatHERS CERTIFICATE.
 - U-VALUE EQUAL TO OR LOWER THAN SPECIFIED VALUE AND SHGC MUST BE WITHIN ALLOWABKE VARIANCE OF + OR -5%.
 - GIVEN VALUES ARE AFRC, TOTAL WINDOW SYSTEM VALUES (GLASS AND FRAME).
 - ALL BEDROOM WINDOWS AT FIRST FLOOR LEVEL ARE TO HAVE WINDOW OPENING RESTRICTING DEVICE IN ACCORDANCE WITH NCC 2022 AND ABCB HOUSING PROVISIONS (Part 11.3.7)



DOOR SCHEDULE - MAIN DWELLING					
HOME STORY	G.FFL				
ID	D01	ENTRY	L'DRY	S.P.D.	
ELEVATION					
WIDTH	3,219	1,200	820	4,810	
HEIGHT	2,400	2,040	2,040	2,143	
GLAZING	Clear Glass	Clear Glass		-	
GLAZING SYSTEM	Double Glazing	-		-	
QTY	1	1	1	1	4

WINDOW SCHEDULE - GRANNY FLAT					
HOME STORY	G.FFL				
ID	W01	W02	W03	W04	
MODEL	SS0622 [SFS]	SD0906 [D]	SS0922 [SFS]	SF0615 [F]	
ELEVATION					
WIDTH	2,170	610	2,170	1,510	
HEIGHT	600	900	900	600	
HEAD HEIGHT	2,160	2,160	2,160	2,160	
REVEAL	PRIMED PINE	PRIMED PINE	PRIMED PINE	PRIMED PINE	
GLAZING	Clear Glass	Obscure Glass	Clear Glass	Clear Glass	
GLAZING SYSTEM	Double Glazing	Double Glazing	Double Glazing	Single Glazing	
TOUGHENED GLASS	☐	☒	☐	☐	
QTY	2	1	2	1	6

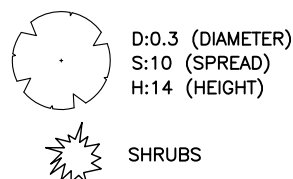
DOOR SCHEDULE (EXTERNAL) - GRANNY FLAT			
HOME STORY	G.FFL		
ID	D01	D02	
ELEVATION			
WIDTH	2,316	1,570	
HEIGHT	2,400	2,400	
GLAZING	Clear Glass	Clear Glass	
GLAZING SYSTEM	Double Glazing	Double Glazing	
QTY	1	1	2

Date	Tender	Revision	Drawn	Rev. ID	HOUSE TYPE:	DRAWING:	CLIENT:	LODGEMENT :	PROJECT ID :
02.08.24		EXISTING TREE AT REAR BACKYARD REMOVED	AV	D	BAROSSA FOUR GUEST	WINDOW & DOOR SCHEDULE	MR. T LE & MRS. L LE	DA/CC	P-208951
18.10.24	4	UPDATED LODGEMENT PLANS WITH BASIX INFO	AV	F	LOFT 30	STAGE:	SITE ADDRESS:	DRAWN BY:	ISSUE DATE:
28.01.25	-	COUNCIL CHANGES	A.C.	G	FACADE:	CONSTRUCTION PLANS	DP: 15574 LOT 2, H#241	CP	03.06.24
01.04.25	6	CONSTRUCTION CERT & DA REVIEW	A.C.	H	GARAGE:	COUNCIL :	THE RIVER ROAD,	REV.:	SHEET:
28.04.25	-	CERTIFIER AMENDMENTS	A.C.	I	POSITION: LHS	CANTERBURY- BANKSTOWN	REVESBY, NSW 2212	I	15/14



LEGEND

- WATER METER
BENCH MARK
COMMS PIT
ST : STEPS
PP : POWER POLE
GUT : TOP OF GUTTER
SMF : STEEL MESH FENCE
DHW : DRILL HOLE & WING
GFO : GROUND FLOOR ONLY
TPF : TIMBER PALING FENCE
SIP : SEWER INSPECTION POINT
POWER LINE
SEWER LINE
(APPROX LOCATION)



NOTES

NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS, DIMENSIONS AND AREAS ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DETAIL FROM THE DRAWING. SURVEYOR MUST BE CONTACTED IF THERE ARE ANY DISCREPANCIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN. SEWERLINE IS APPROXIMATE ONLY.

SEWER LINE SHOWN IS INDICATIVE ONLY. FOR EXACT LOCATION, A SERVICE PROTECTION REPORT IS REQUIRED.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM USING SSM 49082, RL 22.434m.

RIDGE & GUTTERS HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m

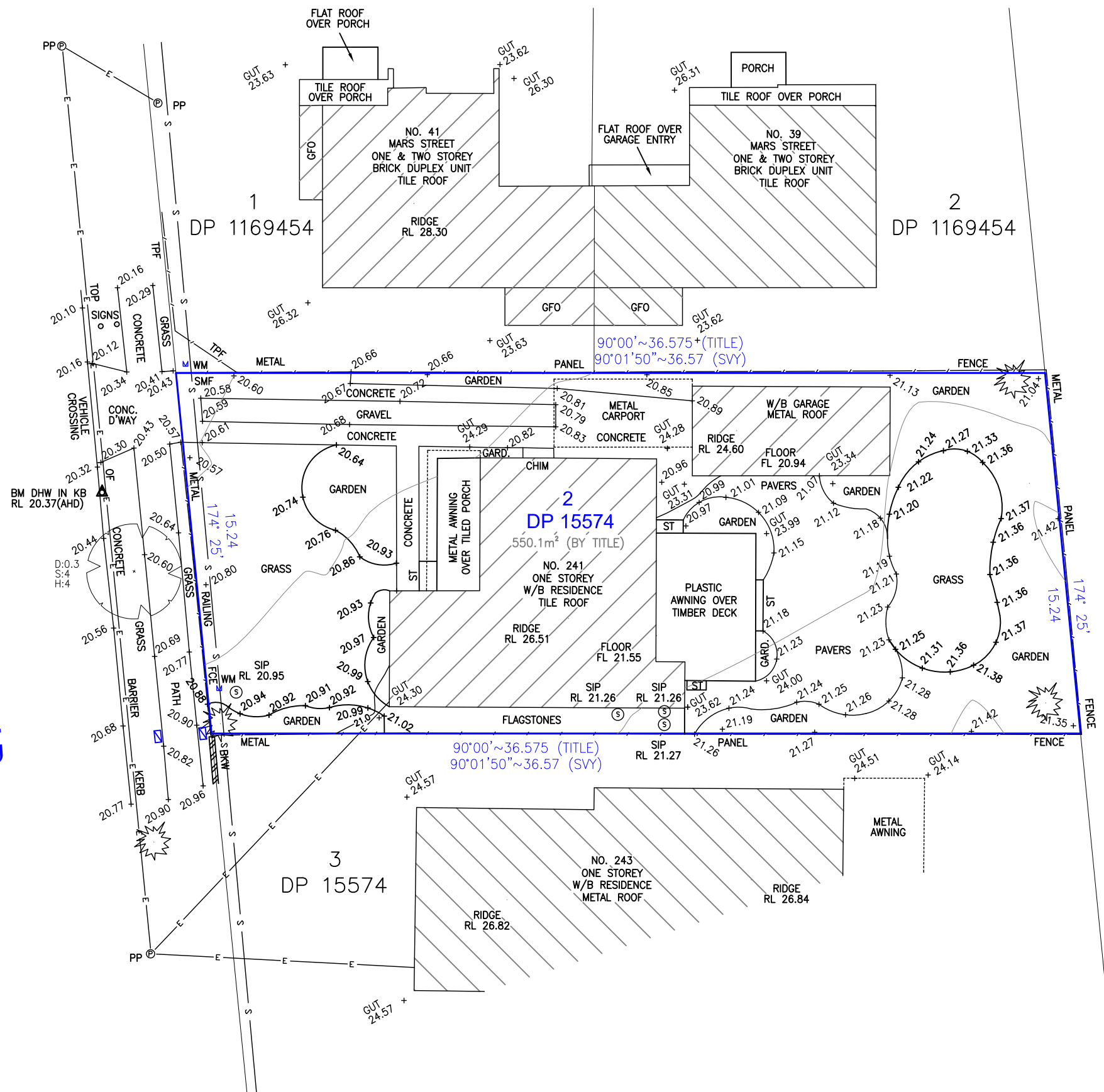
ADJOINING DWELLINGS, BUILDING HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY. ADJOINING WINDOWS HAVE NOT BEEN SURVEYED.

CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.

CONTOUR INTERVALS 0.20m.

B540019 COVENANT

THE RIVER ROAD



A	20.05.24	INITIAL ISSUE	* COPYRIGHT * THE CONCEPTS AND INFORMATION CONTAINED IN THIS DOCUMENT ARE THE COPYRIGHT OF RGM PROPERTY SURVEYS USE OR DUPLICATION OF THIS DOCUMENT IN PART OR IN FULL WITHOUT THE WRITTEN PERMISSION OF RGM PROPERTY SURVEYS CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.	* CAUTION * THE INFORMATION SHOWN ON THIS PLAN MAY BE INSUFFICIENT FOR SOME TYPES OF DETAILED DESIGN. RGM PROPERTY SURVEYS SHOULD BE CONSULTED AS TO THE SUITABILITY OF THE INFORMATION SHOWN HEREIN PRIOR TO THE COMMENCEMENT OF ANY WORKS.	 ABN 37 145 495 825	HEIGHT ORIGIN A.H.D.	DRAWN K.B.	SCALE 1 : 200 @ A3	PROJECT TITLE 241 THE RIVER ROAD, REVESBY	CAD REF C:\240517.dwg
B	02.08.24	TREE REMOVED				SURVEYOR A.Z.	CHECKED R.M.	CLIENT	DRAWING TITLE PLAN SHOWING LEVELS & DETAIL OVER LOT 2 IN DP 15574	DRAWING NO 240517/001
HUY THAI REGISTERED SURVEYOR 8258			* DRAWING STATUS * UNLESS THERE IS AN APPROVED SIGNATURE IN THE BOX PROVIDED THIS PLAN IS NOT VERIFIED AND IS NOT FOR CONSTRUCTION.	COORDINATE SYSTEM ASSUMED	LOCAL GOV'T AREA CANTERBURY-BANKSTOWN	SURVEY DATE 17.05.24	APPROVED H.T.		YOUR REF P-208951	REV B